



**AGENDA  
CITY OF CEDAR FALLS, IOWA  
PLANNING AND ZONING COMMISSION MEETING  
WEDNESDAY, AUGUST 25, 2021  
5:30 PM AT CITY HALL AND VIA VIDEO CONFERENCE**

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The City is providing in-person and electronic options for this meeting in accordance with the Governor's Proclamation of Disaster Emergency regarding meetings and hearings. The City encourages in-person attendees to follow the latest CDC guidelines to reduce the risk of COVID-19 transmission.

The meeting will also be accessible via video conference and the public may access/participate in the meeting in the following ways:

- a) By dialing the phone number +1 312 626 6799 or +1 929 205 6099 or +1 301 715 8592 or +1 346 248 7799 or +1 669 900 6833 or +1 253 215 8782 and when prompted, enter the meeting ID (access code) 886 2008 9534.
- b) iPhone one-tap: +13126266799,,88620089534# or +19292056099,,88620089534#
- c) Join via smartphone or computer using this link: <https://us02web.zoom.us/j/88620089534>.
- d) View the live stream on Channel 15 YouTube using this link: <https://www.youtube.com/channel/UCCzeig5nIS-dIEYisqah1uQ> (view only).
- e) Watch on Cedar Falls Cable Channel 15 (view only).

**Call to Order and Roll Call**

**Approval of Minutes**

1. Planning and Zoning Commission Regular Meeting Minutes of August 11, 2021

**Public Comments**

**Old Business**

2. **Land Use Map Amendment (LU21-001) from Medium Density Residential to Community Commercial; and Rezoning (RZ20-009) from A-1: Agricultural District, C-2: Commercial District, and S-1: Shopping Center District to PC-2: Planned Commercial District**  
**Location:** South side of W 1st Street  
**Applicant:** ME Associates, LLC, Owner; VJ Engineering, Engineer  
**Previous discussion:** June 23, 2021, July 28, 2021  
**Recommendation:** *Set public hearing*  
**P&Z Action:** *Set public hearing for September 8*
3. **Rezoning from R-4 Multiple Residence District to C-2 Commercial District (RZ21-006)**  
**Location:** 0.33 acres of property located at 515 W. 2nd Street and 523 W. 2nd Street  
**Owner:** C and H Holdings, LLC; Applicant: Parco Ltd and Jim Benda  
**Previous discussion:** August 11, 2021  
**Recommendation:** *Denial*  
**P&Z Action:** *Hold public hearing and make a recommendation*

**New Business**

4. **MU District Site Plan (SP21-011) – Bluebell Health Plaza OBGYN Addition**  
**Location:** 226 Bluebell Road  
**Owner:** Matthew Humpal, MercyOne – Waterloo      Engineer: Mindy Bryngelson, CGA  
**Previous discussion:** None

**Recommendation:** *Approval*

**P&Z Action:** *Discuss and consider making a recommendation to City Council*

**5. Land Use Map Amendment and Rezoning from C-1 Commercial District to R-P Planned Residence District (LU21-001 and RZ21-005)**

**Location:** Northwest corner of intersection of Cedar Heights Drive and Valley High Drive

**Owner:** Heartland Development of Cedar Valley, Inc. Architect: Dan Levi, Levi Architecture

**Previous discussion:** None

**Recommendation:** *Set a public hearing for September 8th meeting.*

**P&Z Action:** *Discuss and set public hearing*

**Commission Updates**

**Adjournment**

Reminders:

\* September 8 and September 22, 2021 - Planning & Zoning Commission Meetings

\* September 7 and September 20, 2021 - City Council Meetings

**Cedar Falls Planning and Zoning Commission  
Regular Meeting  
August 11, 2021  
In person and via videoconference  
Cedar Falls, Iowa**

**MINUTES**

The Cedar Falls Planning and Zoning Commission met in regular session on August 11, 2021 at 5:30 p.m. at City Hall and via videoconference due to precautions necessary to prevent the spread of the COVID-19 virus. The following Commission members were present: Holst, Larson, Leeper, Lynch, Saul and Schrad. Karen Howard, Community Services Manager, and Michelle Pezley, Planner III, Jaydevsinh Atodaria, Planner I, were also present.

- 1.) Chair Leeper noted the Minutes from the July 28, 2021 regular meeting are presented. Ms. Lynch made a motion to approve the Minutes as presented. Mr. Holst seconded the motion. The motion was approved unanimously with 6 ayes (Holst, Larson, Leeper, Lynch, Saul, and Schrad), and 0 nays.
- 2.) The first item of business was a Land Use Map Amendment from Medium Density Residential to Community Commercial; and Rezoning from A-1: Agricultural District, C-2: Commercial District, and S-1: Shopping Center District to PC-2: Planned Commercial District. Chair Leeper stated that the item is being deferred by request of the applicant.
- 3.) The next item for consideration by the Commission was a minor plat for property at 2520 and 2522 Hiawatha Road. Chair Leeper introduced the item and Mr. Atodaria provided background information. He explained that the applicant would like to divide the parcel into two lots. He explained that there is currently a two-unit dwelling on the lot and they would like to divide the parcel for two single-unit bi-attached dwellings. Staff recommends approval of the minor plat with adherence to any comments or directions from the Planning and Zoning Commission and conformance with all city staff recommendations and technical requirements.

Randy Hashman, 2607 Hiawatha Road, asked for clarification on what will be on the property. Mr. Atodaria explained that the two units will be attached by one common wall. Mr. Hashman asked if they will be selling the property as condos, as he noticed the width is not very wide on each side. Ms. Howard stated that each unit will be on its own lot so that each lot could be sold separately.

Mr. Holst stated that he feels that the project is straightforward and made a motion to approve the item. Ms. Saul seconded the motion. The motion was approved unanimously with 6 ayes (Holst, Larson, Leeper, Lynch, Saul, and Schrad), and 0 nays.

- 4.) The Commission then considered a rezoning request for property located at 515 and 523 W. 2<sup>nd</sup> Street. Chair Leeper introduced the item and Ms. Pezley provided background information. The site is located at the northeast corner of 2<sup>nd</sup> and Iowa Streets. The applicant proposes to combine these lots and the car wash lot located along 1<sup>st</sup> Street and redevelop the area into a fast food restaurant with a drive-through. She discussed the criteria and analysis for the rezoning request, noting that the request is not consistent with the City's Comprehensive Plan, in this case the recently adopted *Imagine Downtown Vision Plan*. Staff recommends denial of the request because of the inconsistency with the adopted *Imagine Downtown! Vision Plan* and with the new zoning currently under consideration by City Council for these properties. It is also recommended to set a public hearing for the August 25 meeting to allow for formal consideration and public comment.

Jeff Ruppel, (1210 Heather Glenn, Dubuque, Iowa) spoke on behalf of the applicant stating that he is proposing to establish a Wendy's fast food restaurant at this location. He handed out copies of drawings of Wendy's buildings in other locations as an example of what they would like to build here. Mr. Schrad asked if this would front on 1<sup>st</sup> Street and Mr. Ruppel stated that it would.

Mr. Larson asked if there was a reason why a proposed use or layout wasn't included in the packet. Mr. Ruppel stated that he got a strong feeling from staff that the zoning probably wouldn't be appropriate. Ms. Howard stated that the images were not submitted with the application so were not included in the packet for the Commission. She asked that a copy be provided to staff for the official record of the meeting.

Mr. Holst asked if there are any intentions for mitigating potential nuisance effects of a drive-through restaurant to separate it from the 2<sup>nd</sup> Street side out of concern for residential neighbors. He stated that it is important to know how the interests of the surrounding residential properties will be protected from things such as the sounds from the drive thru. Mr. Ruppel stated that the volume of the speakers can be adjusted to ensure they should not be an issue for the neighbors. Mr. Schrad asked if 2<sup>nd</sup> Street could become a buffer zone. Mr. Ruppel stated that it could.

Mr. Leeper noted that the vision plan was just passed and the project doesn't meet the plan so it is a difficult for the Commission to recommend approval.

Mary Jane McCollum, 807 W. 2<sup>nd</sup> Street, stated concerns with the project including lighting and smell, as well as traffic. She noted that the neighbors are not happy with the proposal and believes it isn't consistent with the adopted vision plan.

Kevin Harberts, 1715 Whispering Pine Circle, is one of the owners of the properties being discussed. He asked if the visioning plan has already been approved and put in place. Ms. Howard responded to the question, noting that the Vision Plan was adopted by the City Council in November of 2019. She also noted that this is the guiding document for rezoning applications. Mr. Harberts commented that he thinks this would be a good development for the area.

Ben and Sally Timmer, 203 Tremont Street stated that they support the staff recommendation to deny the project, noting concerns with traffic, trash, noise, etc. They stated that they don't feel that the applicant would like to live that close to a fast food restaurant, so should consider the effect on nearby residents.

Jim Benda, 1816 Valley High Drive, advocated for the rezoning, speaking to the potential parking issues and ways he felt the issues could be resolved.

Steffoni Schmidt, 214 Tremont Street, agrees with the concerns shared by the neighbors, specifically the trash increase and increased traffic, as well as lack of traffic control.

Ms. Saul asked for clarification on the adoption of the vision plan. Ms. Howard stated that the vision plan was adopted by Council in November of 2019 and is part of the comprehensive plan. Any zoning requests should be in compliance with the comprehensive plan. Ms. Saul stated that she would be open to making an exception. Chair Leeper asked Ms. Howard to speak to the suggestion that the portion of the back of the McDonalds lot is not zoned commercial Ms. Howard stated that this was done forty years ago and she is not certain how that came to be, but it does have the split zoning, with the area along 2<sup>nd</sup> Street zoned R-2 Residence District.

Mr. Larson stated that he feels that the Commission should still consider this project and moved to schedule the hearing. Mr. Schrad seconded that motion and suggested that the developer address the issues that the neighbors have brought forward. As no motion is needed, the item will be moved to the August 25 meeting for a public hearing. Ms. Howard clarified that the request at hand is a rezoning of the property to C-2. The use of the property is not being considered at this time because the zoning can be used for anything allowed in the C-2 zone. She reminded the Commission that the issue is not about building a Wendy's restaurant but whether the rezoning should be allowed. If the rezoning were to be allowed the Downtown Vision Plan would have to be amended prior to approval of the rezoning.

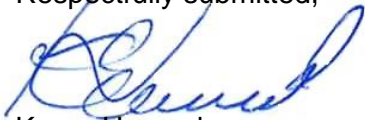
The public hearing was set for the next meeting.

- 5.) Ms. Howard noted that staff are required to wear masks in City Hall again, given the increase in COVID cases in Black Hawk County. The public is not required, but is encouraged to wear masks.

As there were no further comments, Mr. Holst made a motion to adjourn. Ms. Lynch seconded the motion. The motion was approved unanimously with 6 ayes (Holst, Larson, Leeper, Lynch, Saul, and Schrad), and 0 nays.

The meeting adjourned at 6:28 p.m.

Respectfully submitted,



Karen Howard  
Community Services Manager



Joanne Goodrich  
Administrative Assistant



## DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls  
 220 Clay Street  
 Cedar Falls, Iowa 50613  
 Phone: 319-273-8600  
 Fax: 319-273-8610  
 www.cedarfalls.com

### MEMORANDUM

#### *Planning & Community Services Division*

**TO:** Planning & Zoning Commission  
**FROM:** Thom Weintraut, AICP, Planner III  
**DATE:** August 18, 2021  
**SUBJECT:** Land Use Map Amendment (LU20-04)  
 Rezoning Thunder Ridge, West 1<sup>st</sup> Street and Eagle Ridge Road (RZ20-009)

**REQUEST:** Amend Future Land Use Map to reflect Community Commercial  
 Rezone property from A-1: Agricultural District, C-2: Commercial District, and  
 S-1: Shopping Center District to PC-2: Planned Commercial District

**PETITIONER:** ME Associates, LLC, Owner; VJ Engineering, Engineer

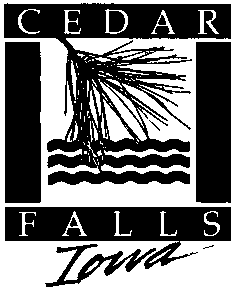
**LOCATION:** South side of W 1<sup>st</sup> Street, beginning approximately 300 west of Lake Ridge  
 Drive extending east to Eagle Ridge Road and south to the Thunder Ridge  
 Apartments and Thunder Ridge Senior Apartments.

The applicant has submitted revised documents associated with the request to amend the Land Use Map and to rezone the Thunder Ridge Development property.

- Master Development Plan
- Rezoning Plat
- Development Phasing Plan
- Landscaping Plan
- The Thunder Ridge Development Guidelines
- Development Procedures Agreement.

Staff is in the process of reviewing these documents and is working with the applicant on a few final adjustments so there is consistency between the documents. Staff anticipates that the case will be ready for consideration at a public hearing on September 8. In addition, the applicant has brought forth a new proposal for the extension of Lake Ridge Drive to the south property line. Staff is evaluating this proposal and will forward a recommendation at your next meeting.

The staff recommends the Commission set a public hearing date of September 8, 2021 for the proposed Land Use Map Amendment (LU20-04) and Rezoning (RZ20-009) for the Thunder Ridge Development.



## DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls  
 220 Clay Street  
 Cedar Falls, Iowa 50613  
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 www.cedarfalls.com

### MEMORANDUM Planning & Community Services Division

**TO:** Planning and Zoning Commission  
**FROM:** Michelle Pezley, Planner III  
**DATE:** August 17, 2021  
**SUBJECT:** Rezoning Request – 515 W. 2<sup>nd</sup> Street and 523 W. 2<sup>nd</sup> Street

**REQUEST:** Rezone two properties from R-4 Multiple Unit Residential to C-2 Retail Commercial (Case #RZ21-006)

**PETITIONER:** Kevin Harberts, C and H Holdings LLC and Parco Ltd.

**LOCATION:** 515 W. 2<sup>nd</sup> Street and 523 W. 2<sup>nd</sup> Street

#### PROPOSAL

The applicant requests to rezone two properties currently zoned R-4, Multiple-Unit Residential District, at 515 W. 2<sup>nd</sup> Street and 523 W. 2<sup>nd</sup> Street to C-2, Retail Commercial District. The applicant seeks to use the property at 515 W. 2<sup>nd</sup> Street and 523 W. 2<sup>nd</sup> Street to be combined with 106 Iowa Street to build a fast food restaurant with a drive-through. A restaurant is not allowed within the R-4 zoning district. Therefore, the applicant is requesting to rezone this property to C-2 Retail Commercial where restaurant uses are allowed.



The property to the north is within the C-2 Zoning District and currently is used for a carwash business. The parcels located east and south are within the R-4 Zoning District and are

residential dwellings. The property to the west is a split zone lot of R-2 and C-2 where the McDonald's is currently located. The McDonald's was established in the 1980's and it is unknown how it was established with the split zoning of the property. As one can see in the aerial photo above, the fast food restaurant is inconsistent with development along 2<sup>nd</sup> Street, which is all lower-scale residential and takes up more space than other commercial uses in the corridor.

BACKGROUND

The two properties at 5151 W. 2<sup>nd</sup> and 523 W. 2<sup>nd</sup> have been within a residential zoning district since the adoption of the Zoning Ordinance in 1970 and have been in residential use since the early 1900s.

515 W. 2<sup>nd</sup> Street consists of a single-family residence that was built in 1919. The house is approved as a rental unit. 523 W. 2<sup>nd</sup> Street consists of a two-family conversion and is also a rental property. The house was built in 1894.

ANALYSIS

The applicant requests the properties to be rezoned to the C-2 District. Rezoning considerations involve the evaluation of three main criteria:

- 1) *Is the rezoning request consistent with the Future Land Use Map and the Comprehensive Plan?*

*The rezoning request is not consistent with the Comprehensive Plan or Future Designations.*

In November 2019, the City Council adopted the *Imagine Downtown! Vision Plan*. The Downtown Vision Plan is an integral part of the City of Cedar Falls Comprehensive Plan. Within the plan, the downtown area is divided into "character areas," which provide a framework of intent for the scale of growth and change that is desired and set the expectations for the new zoning regulations recently recommended to the Council by the Planning and Zoning Commission. The properties that are the subject of this rezoning request are located largely within the "Overman Park Neighborhood" character area, which is the area shown in light blue in the image above-right. As one can see both sides of 2<sup>nd</sup> Street are included within this neighborhood designation. Note: The subject properties requested for rezoning are outlined in yellow.





The Vision Plan notes that the Overman Park Neighborhood is a stable, residential neighborhood of primarily owner-occupied single-family detached houses with a few small offices in close proximity to the Main Street Parkade. The intent for this area is to protect the residential character and allow limited residential infill at a scale similar to the existing homes in the neighborhood. The illustrative plan within the Vision Plan shows the potential for the area along 2<sup>nd</sup> Street to remain residential in character while allowing more intensive mixed-use redevelopment along 1<sup>st</sup> Street (see image above).

As mentioned during the Planning and Zoning Commission's August 11, 2021 meeting, for this rezoning request to move forward, the *Imagine Downtown! Vision Plan* would need to be amended. Staff does not support the amendment to the Vision Plan this soon after the adopting the plan in November 2019. The Vision Plan started with a public kickoff event in April 2019. The process involved extensive public input from community members, including two large public planning workshops and numerous smaller discussions with specific stakeholders within the downtown area, including Community Main Street, business owners, property owners, realtors, developers, elected officials, the Historical Society, Bike-Ped Committee, Grow Cedar Valley, and various technical staff from the City, CFU, and IDOT. The character districts were drawn based on this community input. Considerable thought was put into how the higher intensity mixed-use areas in Downtown and along 1<sup>st</sup> Street should transition to the surrounding neighborhoods in order to preserve the residential character of the neighborhoods and ensure the quiet enjoyment of the residents. Allowing commercial to extend a full block from 1<sup>st</sup> to 2<sup>nd</sup> Street would be replicating the one use that is anomalous along the corridor, the large drive-through restaurant located west of the subject property.

It should be noted that in response to concerns that commercial development needs more space, the area intended for more intense commercial and mixed use development is shown in the Vision Plan extending further toward 2<sup>nd</sup> Street than the current C-2 zoning.

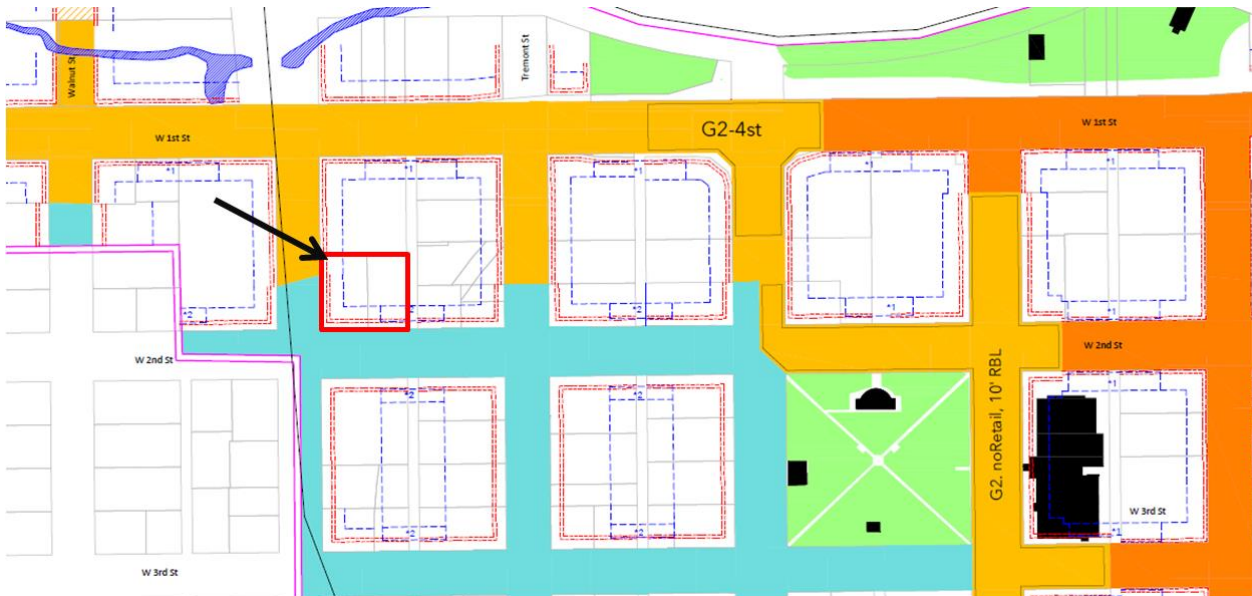
In summary, an amendment to the *Imagine Downtown! Vision Plan* would be necessary in order to approve the requested rezoning. For all the reasons stated above, staff recommends against making any change to the plan. Since the plan was just recently adopted with considerable public input, any changes would warrant broader discussion of the various stakeholders in the downtown area.

### **Planning & Zoning Commission's Recommended Draft of the Downtown Code**

As directed by the City Council, after adoption of the Vision Plan, staff moved forward with the recommendations found in the *Imagine Downtown! Vision Plan* for new zoning regulations and a new Regulating Plan (zoning map) to facilitate development consistent with the vision. A public review draft of a new Downtown Character District zoning standards and the associated Regulating Plan were presented during a special Cedar Falls Planning and Zoning Commission meeting on February 17, 2021 and after an extensive public review period and careful consideration by the Commission was recommended for approval to the City Council on May 12, 2021.

During the public comment period of the Planning and Zoning Commission review of the draft code and regulating plan, the applicant, Kevin Harberts, requested a change to the regulating plan to have the "Urban General 2" designation (area shown in yellow below) to be extended from 1<sup>st</sup> Street frontage to the 2<sup>nd</sup> Street frontage. The Planning and

Zoning Commission considered this request, as noted in item number 9 in the attached decision matrix, and decided to maintain the Downtown Regulating Plan as originally proposed in order to remain consistent the Vision Plan that was adopted in 2019.



The subject properties at the corner of 2<sup>nd</sup> Street and Iowa Street, as outlined in red above are largely designated as “Neighborhood Small”(shown in light blue), which allows residential infill development, but not commercial development in order to maintain the residential character on 2<sup>nd</sup> Street and not allow further commercial encroachment into the Overman Park Neighborhood. It should be noted that approximately 2/3 of the block from 1<sup>st</sup> to 2<sup>nd</sup> Street is designed as Urban General 2, which would allow more space to accommodate commercial or mixed uses along 1<sup>st</sup> Street than the current C2 zoning district. Restaurant uses and drive-through facilities would be allowed with the new zoning in this location along 1<sup>st</sup> Street as long as they met the new zoning standards. However, approximately 1/3 of the block, the area that fronts on 2<sup>nd</sup> Street, would be reserved for residential uses. Looking at the current commercial pattern along 1<sup>st</sup> Street (see aerial photo on page one) and the new Regulating Plan, the new zoning gives additional building space for commercial development that is not there currently.

As noted above, the new zoning regulations and regulating plan have already been reviewed by the Planning and Zoning Commission and recommended to Council for approval. The City Council is currently reviewing the Commission’s recommendations. The City Council has set the public hearing at their September 7<sup>th</sup> meeting. As a consequence, new zoning and regulations may be adopted by October. If adopted, all the existing zoning would be deleted, including all the C-1, C-2, C-3, R-4, R-3, A-1, M-1, and CBD Overlay zoning in the downtown area and the Downtown Character District Regulating Plan would be established as the new zoning map for the area. At that point this rezoning request to C-2 would be considered moot.

*Conclusion: This rezoning request is not consistent with the recently adopted Downtown Vision Plan and the new zoning that has recently been recommended by the Commission to the City Council, staff does not recommend approval of this rezoning request to C-2.*

2) *Is the property readily accessible to sanitary sewer service?*

Yes, all utilities are readily available to the site.

3) *Does the property have adequate roadway access?*

Yes, the properties currently have access to Iowa Street, 2<sup>nd</sup> Street, and the alley to 1<sup>st</sup> Street.

A notice was mailed to property owners within 300 feet of the parcel under consideration on August 2, 2021 regarding this rezoning request.

### STAFF RECOMMENDATION

Staff recommends denial of Case #RZ21-006, a request to rezone properties at 515 W. 2<sup>nd</sup> Street and 523 W. 2<sup>nd</sup> Street from R-4 to C-2, because the request is inconsistent with the adopted *Imagine Downtown! Vision Plan* and with the new zoning currently under consideration at City Council for these properties.

### PLANNING & ZONING COMMISSION

8/11/2021 Introduction The Commission then considered a rezoning request for property located at 515 and 523 W. 2nd Street. Chair Leeper introduced the item and Ms. Pezley provided background information. The site is located at the northeast corner of 2nd and Iowa Streets. The applicant proposes to combine these lots and the car wash lot located along 1st Street and redevelop the area into a fast food restaurant with a drive-through. She discussed the criteria and analysis for the rezoning request, noting that the request is not consistent with the City's Comprehensive Plan, in this case the recently adopted *Imagine Downtown Vision Plan*. Staff recommends denial of the request because of the inconsistency with the adopted *Imagine Downtown! Vision Plan* and with the new zoning currently under consideration by City Council for these properties. It is also recommended to set a public hearing for the August 25 meeting to allow for formal consideration and public comment.

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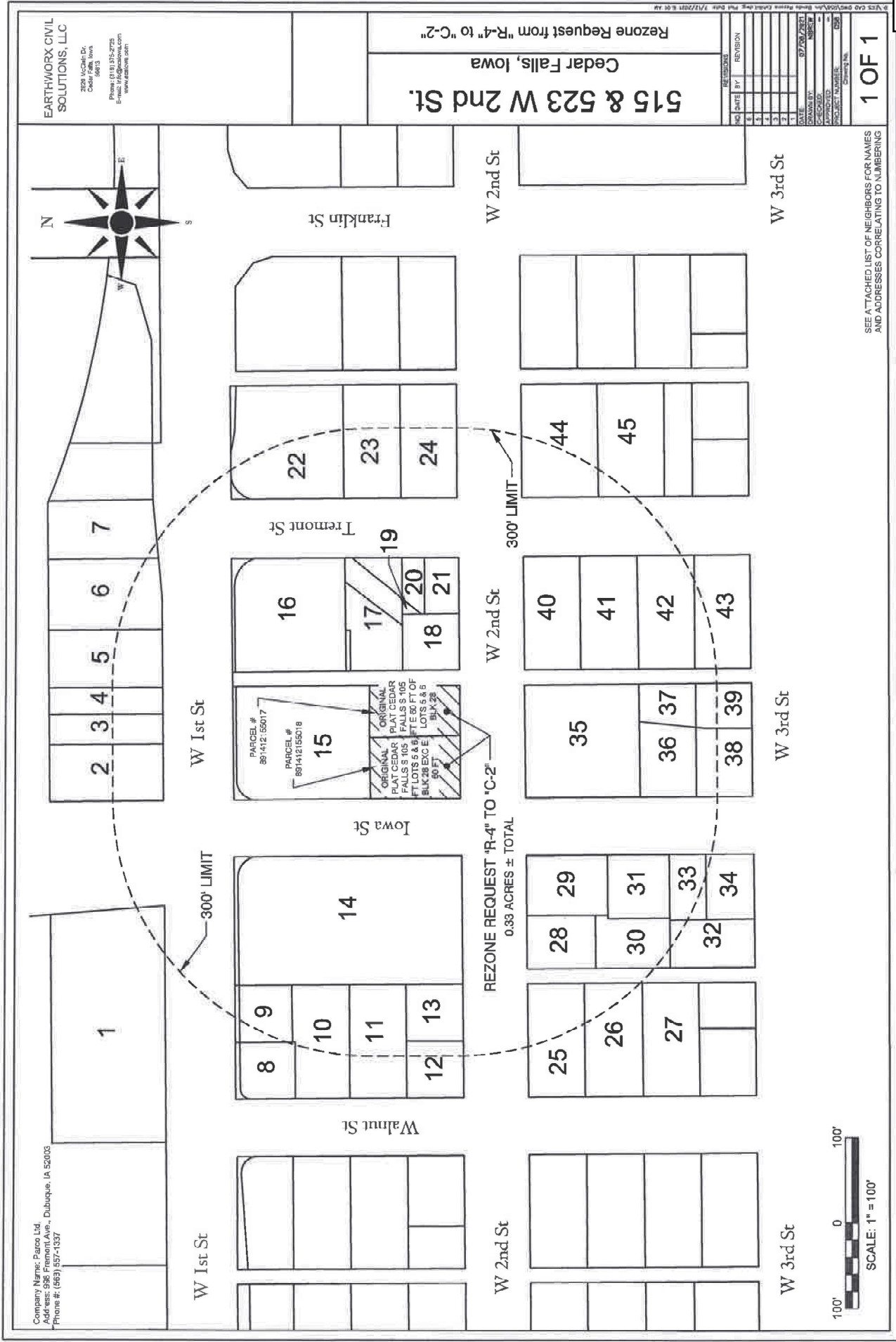
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Mr. Larson stated that he feels that the Commission should still consider this project and moved to schedule the hearing. Mr. Schrad seconded that motion and suggested that the developer address the issues that the neighbors have brought forward. As no motion is needed, the item will be moved to the August 25 meeting for a public hearing. Ms. Howard clarified that the request at hand is a rezoning of the property to C-2. The use of the property is not being considered at this time because the zoning can be used for anything allowed in the C-2 zone. She reminded the Commission that the issue is not about building a Wendy's restaurant but whether the rezoning should be allowed. If the rezoning were to be allowed the Downtown Vision Plan would have to be amended prior to approval of the rezoning.

The public hearing was set for the next meeting.



Proposed rezoning of 515-523 W 2<sup>nd</sup> St., Cedar Falls IA to C-2

Proposed use: fast food

The purchase of 524 W 1<sup>st</sup> St., Cedar Falls (zoned C2) would only yield approximately 20,000 sf. In order to get enough land there needed to be additional purchases. 515 – 523 W. 2<sup>nd</sup> St made sense since there is an alley bordering 524 W 1<sup>st</sup> St. on the east, and it was also in line with what has been done to the west with another similar user, McDonalds. Adding 515-523 W. 2<sup>nd</sup> St would make the total square feet available for redevelopment to approximately 34,000 sf.

**PROPOSED AMENDMENTS TO THE PUBLIC REVIEW DRAFT OF THE DOWNTOWN ZONING CODE**

**26-193 – Building Form Standards**

	<b>Proposed Amendment</b>	<b>Explanatory Notes</b>	<b>Consultant/Staff Recommendation</b>	<b>P&amp;Z Discussion (Date)</b>	<b>P&amp;Z Decision</b>
<b>1</b>	Requestor: Consultant/staff  Change Building Form Standards (BFS) <b>Section 193.5 Neighborhood Small Frontage B. Placement 4. Buildable Area</b> to allow Private Open Area to be above grade for lots with less than 70 ft of depth.	Technical Fix: This better accommodates rowhouses on especially shallow lots (such as many of the lots along 2 <sup>nd</sup> Street, as shown in the Vision Plan) with their 66ft width/depth. This will make Neighborhood Small consistent with Neighborhood Medium.	Consultant/staff are in support of this amendment.	Commission directed staff to make the change.	Amendment Approved
<b>2</b>	Requestor: Consultant/staff  Change Required Building Line (RBL) on the Downtown Regulating Plan, on the north side of W 2 <sup>nd</sup> St. from Franklin St. to the western border of the District. The RBL should be moved forward an additional 5ft, from 15ft to 10ft off the front property line.	Technical Fix: This is for consistency with the RBL to the east of Franklin (Urban General 2) and better accommodates rowhouses fronting 2 <sup>nd</sup> Street (as shown in the Vision Plan) within the shallower (66ft) depth of many of those lots.  This keeps the building form and scale consistent with the Neighborhood Small designation, but allows room for both parking and for usable ground floor space within the buildings.	Consultant/staff are in support of this amendment to the Downtown Character District Regulating Plan.	Commission directed staff to make the change.	Amendment Approved
<b>3</b>	Requestor: Staff a) Insure consistency of terms between new proposed <b>Section 26-140. Use-Specific Standards, Category Descriptions, and Definitions</b> and proposed <b>Section 26-197. Building Functions;</b> b) Clarify language in Character District Use Table introductory paragraph concerning additional standards that apply	Technical Fix: a) Because drafting was an iterative process, additional revisions were made to Section 26-140, Use Classification, after the public review draft of Downtown Character District Code (Section 26-197) was released. This is a simple clean-up to make sure terms are internally consistent. Also to correct the Code Section number of the Use Classification to Sec. 26-140 (not 26-132).  b) Make clear that additional development and performance standards apply above and beyond the broad permitted use categories.	Consultant/staff are in support of these amendments	Commission directed staff to make these changes.	Amendment Approved

<p>4</p>	<p>Requestor: Staff Correct outline format, as needed</p>	<p>Technical Fix: Some outline numbers are out of sequence and need correction</p>	<p>Consultant/staff are in support of this amendment</p>	<p>Commission directed staff to make these changes.</p>	<p>Amendment Approved</p>
<p>5</p>	<p>Requestor: Historical Society and Planning Staff Add Civic Building designations to Regulating Plan</p>	<p>Technical Fix: The Cedar Falls Woman’s Club and Cedar Falls Historical Society Victorian House Museum and Museum Buildings in Sturgis Park should be identified as Civic Buildings.</p>	<p>Consultant/staff are in support of this amendment</p>	<p>Commission directed staff to make these changes.</p>	<p>Amendment Approved</p>
<p>6</p>	<p>Requestor: Consultant/Staff Change to <b>Section 26-140. Use-Specific Standards, Category Descriptions, and Definitions</b> for clarity, etc.</p>	<p>Technical Fix: Clarification concerning categorization of commercial assembly uses as large or small based on size and the other classification criteria in <b>Section 26-140(a)(3)</b>  This will help in classifying uses appropriately in different zoning districts. Examples include small commercial assembly uses, such as theaters that fit into a main street area, like the Oster Regent Theater downtown versus large commercial assembly uses, such as a large metroplex theater complex located in a suburban shopping center.</p>	<p>Consultant/staff are in support of this amendment</p>	<p>Commission directed staff to make these changes.</p>	<p>Amendment Approved</p>



<p>7</p>	<p>Requestor: P&amp;Z Member Larson</p> <p>Change the Regulating Plan designated building frontage on west side of Overman Park from Neighborhood Small to Urban General 2 to accommodate existing businesses located in buildings along Franklin Street;</p> <p>or alternatively:</p> <p>Requestor: Tom and Dorinda Pounds They own a house on Franklin Street that was converted to office space for their business. They want assurance their business can continue, but also have maintained many of the historic residential features of the home, so it could be converted back to residential use in the future, if desired.</p> <p>They would like an approach to better accommodate existing businesses, while maintaining the residential character and scale of the area</p>	<p>As drafted, all existing businesses can remain as non-conforming uses. The new code requires no changes unless/until the owner makes a significant change to their business or building, at which time the standards identified in <b>Section 26-38 Proportionate Compliance</b> would apply, based on the [level/degree] of proposed change.</p> <p>The intent of the proposed limitations on new businesses in the Neighborhood frontage areas is to encourage their concentration in the core of Downtown for the synergy it creates and to stabilize and encourage reinvestment in the surrounding residential areas and preservation of the historic character of these areas.</p> <p>Options for change:</p> <p>Option 1: Change the regulating plan along west side of Franklin Street to Urban General 2.</p> <p>Pro: Insure existing business are not made non-conforming</p> <p>Con: Change in building frontage designation affects more than use; it would also change the physical scale and character of permitted new buildings, potentially incentivizing the demolition of other houses in the neighborhood. This could potential affect the historic residential character along Franklin Street. Most businesses are located within existing residential structures.</p> <p>Option 2: Language could be added to state that all existing businesses at the time of code adoption are considered conforming, so can continue and even expand, but that no new businesses are permitted in the Neighborhood frontages. This is a similar approach we took for manufacturing businesses on the far east side of the study area.</p>	<p>Consultant/staff are in support of Option 2, as it achieves the goal of keeping existing businesses conforming, but doesn't have the unintended consequences noted with Option 1.</p>	<p>Commission directed staff to make the changes per Option 2.</p>	<p>Amendment Approved Option 2.</p> <p>(Note: add a parking requirement for non-residential uses in Neighborhood Frontages).</p>
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<p>8</p>	<p>Requestor: P &amp; Z Chair: Include a design review process/role for P&amp;Z</p>	<p>Commission expressed concern that it is difficult to legislate good design and that some additional design guidance may be needed, at least for some projects; and this process should be conducted through a public review process at P&amp;Z and/or Council.</p> <p>Pros: Provides for more public scrutiny of development projects in the downtown area. Provides additional reassurance that a project will be consistent with the vision for downtown.</p> <p>Cons: One of the goals of the Downtown Zoning Code update was to streamline the development review process and move toward by-right approvals for those projects that meet a set of objective form-based standards. The benefits of this approach are to a) provide a greater level of predictability for property owners, developers, and neighbors; b) move away from the time and expense of negotiating individual projects in the Downtown district, particularly if it requires project redesign or additional legal fees; and c) remove the subjectivity of the public review process, where individual opinions can cause projects that otherwise meet the standards to be redesigned adding cost to the project.</p> <p>From a fairness and equity standpoint, it can also give undue influence to particularly persuasive or well-connected applicants or to those who may simply want to prevent development from occurring.</p> <p>The purpose of establishing the staff Zoning Review Committee is to ensure that development projects meet the adopted standards, but also to assist applicants in their understanding of the intent of the provisions of the code, so they can achieve a more cohesive design, so in essence will serve as an administrative design review.</p>	<p>Consultants/staff do not recommend adopting a public design review process at this time.</p> <p>If a majority of the Commission would still like to move forward with a public design review process, the consultants and staff will continue to work to determine a workable approach.</p>	<p>Commission directed staff to keep the draft the same and not require a separate design review through P&amp;Z and Council.</p>	<p>No change recommended</p>
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<p>9</p>	<p>Requestor: Kevin Harberts (owns two residential properties along 2<sup>nd</sup> Street).</p> <p>Change the Regulating Plan so that the General Urban frontage designation goes from the 1<sup>st</sup> Street frontage to 2<sup>nd</sup> Street frontage</p> <p>The requestor would like the option to create larger through lots for commercial uses that extend the full depth of the block from 1<sup>st</sup> to 2<sup>nd</sup> Street.</p>	<p>The regulating plan designations between 1<sup>st</sup> and 2<sup>nd</sup> Street are already set up to provide more lot depth for Urban General along 1<sup>st</sup> Street to accommodate the larger footprint of many commercial buildings, leaving a shallower depth for the neighborhood frontage designation along 2<sup>nd</sup> Street, which can accommodate smaller footprint residential building types, such as rowhouses.</p> <p>Pros and Cons of making this change:</p> <p>Pro: Uniform building form standards for the entire parcel (with considerably more buildable area)</p> <p>Con: This would undermine the scale transition from the higher intensity, mixed-use 1<sup>st</sup> Street down to the less intense Overman Park neighborhood to the south.</p> <p>The code provides considerable flexibility for parcels with more than one frontage designation to shift the frontage designation to accommodate specific needs of the development. However, it is important for the buildings along both sides of 2<sup>nd</sup> Street to relate to one another, rather than having residential buildings facing the backs of 1<sup>st</sup> Street businesses. The regulating plan designations ensure buildings of similar scale and character along both sides of a street.</p>	<p>Consultant/staff are <u>not</u> in support of this amendment.</p> <p>The regulating plan already establishes Urban General deeper into the block (from north to south) and leaves a rather shallow area along 2<sup>nd</sup> Street that will accommodate residential building forms, such as townhomes, as shown in the <i>Imagine Downtown! Vision Plan</i>.</p>	<p>Commission directed staff to keep the regulating plan the same. No change recommended.</p>	<p>No change recommended</p>
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<p>10</p>	<p>Requestor: Planning &amp; Zoning Commission and questions from several members of the public.</p> <p>Consider the inclusion of vinyl siding as an approved wall material in Neighborhood Frontages</p>	<p>There is concern that prohibiting vinyl siding in the Neighborhood Frontages could be cost prohibitive and encourage disinvestment in existing residential properties.</p> <p>The intent of the proposed prohibition was to promote more durable and environmentally sustainable building materials. (The issue is not one of aesthetics).</p> <p>Pro: Reduce the up-front cost of building construction and maintenance</p> <p>Con: Higher long-term costs for maintenance and upkeep; concerns related to durability and fire-resistance; environmental impacts of PVC, i.e. produces toxic smoke when it burns and melts at a fairly low temperature; damaged or melted siding often ends up in the landfill and is not biodegradable. While it is possible to recycle it, there are often issues of contamination from dirt, nails, and mixed-in aluminum flashing. In contrast, wood, brick or stone have a life cycle of more than 100 years. The life span of vinyl is 15 to 20 years before it becomes brittle from ultraviolet light and is easily damaged.</p> <p>If change to the ordinance is desired, following are some options:</p> <ol style="list-style-type: none"> <li>1. Maintain the prohibition of vinyl siding for new construction.</li> <li>2. Permit the use of vinyl siding to replace or repair existing vinyl siding.</li> <li>3. Permit use of vinyl siding that meets higher minimum standards for quality, maintenance, and durability, based on industry standards to replace or cover over other types of siding on existing single family dwellings.</li> <li>4. Delete the prohibition on vinyl siding from the code altogether, so it would be allowed on all existing and new buildings in the Neighborhood Frontages.</li> </ol>	<p>Consultant/staff are particularly concerned about the long term consequences of allowing vinyl siding related to the noted environmental concerns, so recommend prohibiting vinyl siding for new construction.</p> <p>With regard to the second bullet point, the current draft already allows replacement of like material with like material for maintenance purposes. Consultant/staff would be in support of adding some additional language to make sure this is clear.</p> <p>Consultant/staff are <u>not</u> supportive of allowing vinyl siding to replace existing environmentally sustainable building materials, such as wood, stone, or brick. We feel that the long term costs outweigh the short term savings.</p> <p>Consultant/staff strongly recommend against listing vinyl siding as a generally allowed building material.</p>	<p>Commission directed staff to move forward with making changes consistent with 1, 2, and 3, but did not support option 4.</p> <p>Bullet points 1 and 2 were supported unanimously. Bullet point 3 was supported by a majority.</p> <p>With regard to bullet 1, the Commission requests that the language be clarified to indicate that for additions to existing buildings that have vinyl siding that vinyl siding can be used for the addition. We will need to discuss how to fit that into the trigger chart.</p> <p>Bullet point 4 was rejected by a majority.</p>	<p>Amendments Approved according to bullet points 1, 2, and 3. Majority of the Commission does not support 4.</p>
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<p>11</p>	<p>Requestor: Jesse Lizer, Emergent Architects</p> <p>Permit the use of higher quality foam products for architectural detailing</p>	<p>There is concern that the prohibition of “all other foam-based products” in <b>Sec. 26-194.C.5.</b> would limit options for restoration of historic buildings. That was never the intent of this prohibition, but rather to limit the use of flimsy, easily damaged building materials, particularly at the street level. Potential change:</p> <ul style="list-style-type: none"> <li>• Delete “all other foam-based products” from the prohibited list and add a new item to the secondary materials list in <b>Sec. 26-194.C.4.</b> as follows: “Durable foam-based products, such as Fypon, may be used for architectural detailing.”</li> </ul>	<p>Consultant/staff are in support of this amendment,</p>	<p>Commission directed staff to make this change.</p>	<p>Amendment Approved</p>
<p>12</p>	<p>Requestor: Staff</p> <p>Provide more direction for ADUs</p>	<p>Concern that there is insufficient enforceability of owner-occupancy requirement following the development of an ADU. Consider including a requirement for an affidavit/legal agreement with the City in <b>Sec. 26-193.1.G</b> (p.24) to be filed and recorded, so that it is clear to future owners or prospective buyers that the dwelling is not considered a duplex, so that the limits on size and occupancy for ADUs continue to be enforceable over time.</p> <p>The allowance for ADUs is intended to make home ownership more affordable and encourage investment and reinvestment that will help stabilize existing older neighborhoods surrounding downtown.</p>	<p>Consultant/staff are in support of this amendment.</p>	<p>Commission directed staff to make this change.</p>	<p>Amendment Approved</p>

13	<p>Requestor: Staff</p> <p>Prohibit conversion of existing single unit dwellings into duplexes or multi-unit dwellings.</p>	<p>The new code opens up the possibility for new types of housing, but in a manner that ensures that new housing fits into the context of the neighborhood with quality design and a logical configuration of the dwelling units. However, the new standards and allowances are not intended to encourage existing single unit dwellings to be chopped up into additional units in a manner that reduces the functionality and livability of the dwelling and makes it less desirable for those seeking a long term rental opportunity or homeownership. As is often experienced in college towns this is a common practice to provide short term rentals for college students by converting living rooms, dining rooms, and other spaces to maximize the number of bedrooms. While providing rental housing for students is important, this particular practice often creates units that are not very conducive to long term renters and cannot be easily or cost-effectively adapted or converted back to the original condition in response to market fluctuations, such as a drop in enrollment.</p> <p>Staff notes that making this change will keep the new code consistent with the City's current conversion prohibition in the R1 and R2 Districts.</p>	Staff is in support of this change.	Commission directed staff to make this change.	Amendment approved.
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Item 3.



## DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls  
 220 Clay Street  
 Cedar Falls, Iowa 50613  
 Phone: 319-273-8600  
 Fax: 319-273-8610  
 www.cedarfalls.com

### MEMORANDUM

#### *Planning & Community Services Division*

**TO:** Planning and Zoning Commission  
**FROM:** Jaydevsinh Atodaria (JD), City Planner I  
 Luke Andreasen, PE, Principal Engineer  
**DATE:** August 17, 2021  
**SUBJECT:** MU Site Plan for Bluebell Health Plaza OBGYN addition (SP21 – 011)

**REQUEST:** Request to approve the MU Site Plan for Bluebell Health Plaza  
 Case #SP21-011

**PETITIONER:** Mathew Humpal - Owner, CGA Consultants - Engineer

**LOCATION:** 226 Bluebell Road

#### PROPOSAL

The petitioner is proposing to build an addition of 5,400 Square feet attached to the southwest part of the existing building. This section will be a single-story structure, just like the rest of the existing building on site for Bluebell Health Plaza and will provide OBGYN services. In addition, the applicant will also be expanding the parking lot to accommodate the parking stall requirements for the proposed addition, along with some landscaping improvements. The applicant has submitted the site plan to provide additional detailed information about the project.

#### BACKGROUND

This property is part of Lot 35 in Pinnacle Prairie Business Center North, which was platted in 2005. The Mercy One Clinic was then built in 2006 through a site plan approval process, which included a master plan indicating how the site might be further developed in the future. (See image right). The subject property is also part of the Pinnacle Prairie Master Plan, which was last updated in 2015 (See below for reference).



MercyOne is no longer planning to develop the entire property for clinical uses, but will likely come back at a later date to subdivide the southern portion so they can sell to a different user. Since 2006, there have been changes that would preclude development of the property as indicated in the 2006 Plan, including development of the City of Cedar Falls Public Safety Building.



**Pinnacle Prairie Master Plan updated in 2015**

In 2015 the Pinnacle Prairie Master Plan was updated as shown to the right (also attached). The building design of this proposed addition should align with design guidelines in the Pinnacle Prairie Master Plan. City staff notes that the applicant has consulted with the Pinnacle Prairie Design Committee to ensure that their building design would be consistent with the design guidelines. Site plan revisions including changes, modifications made to development plans, land-use changes, parking lot arrangements, and other building design elements are termed as revisions must be reviewed and approved by Planning and Zoning Commission and City Council according to the requirements of the MU, Mixed Use Residence District.

**ANALYSIS**

The property in question is located within the MU, Mixed-Use Residential zoning district. Development/Site plan revisions in an MU zoning district require a detailed site plan review to ensure that the development site satisfies the standards of the comprehensive plan, recognizes principles of civic design, land use planning, landscape architecture, and building architectural design that is set out for the district. Attention to details such as parking, open green space, landscaping, signage, building design, and other similar factors help to ensure orderly development. The proposed project involves construction of an addition to the existing clinic and increasing the parking area incorporating landscaping updates; therefore this report will cover only those elements that are relevant to this proposal. Following is the detailed review about the project:

**Use:**

The subject property is zoned MU, Mixed Use Residential District, and is part of the Pinnacle Prairie Master Plan. On the master plan this area is designated as appropriate for a mix of uses. (See attached Pinnacle Prairie Master Plan Exhibit for reference). The City’s Future Land Use Map closely follows the Pinnacle Prairie Master Plan. Currently the site includes a medical clinic which is an allowed use as per zoning standards and the proposed project will be expanding the existing facility in size. No new use is being proposed. **The proposed addition will be an addition to the existing medical clinic, which is allowed use and is consistent with the approved Pinnacle Prairie Master Plan.**



**Building and Parking Location:**

In the MU Zoning District, a minimum setback area consisting of open landscaped green space measuring 30 feet in width shall be established around the perimeter of the development site. No structures or parking areas are permitted within this setback area. The proposed building addition exceeds minimum setback of 30 feet, as the addition will be added on the southern side of the building, which is not abutting Bluebell Road. All the proposed parking areas are located outside the required perimeter setback, except the western lot line of property, which abuts the Public Safety building. The parking lot for the clinic was established prior to the division for the Public Safety Building, so is grandfathered with this smaller setback of 5 feet. The expansion of the parking continues to follow this same grandfathered setback. Staff does not find there will be any issues with the parking area expanding in this manner, as there will be no impacts to the abutting public property. **Setbacks satisfied based on existing site conditions.**

**Parking:**

The parking requirement for a medical clinic in Cedar Falls is 5 stalls for every 1000 square feet of gross floor area. The existing building is 28,250 square feet and the proposed addition is about 5,400 square feet with a total building footprint of 33,650 square feet. Therefore, the parking requirement for this building, including the new addition, is 168 stalls including 6 handicap stalls. With the proposed expansion of the parking lot area, the site will have a total of 188 stalls including 12 handicap stalls. All handicap stalls are proposed close to the southern building wall, thereby providing easy access to the building.

The parking area is situated behind the building and is accessed from Bluebell Road. The proposed expansion of parking area will be south of the existing parking lot and will also include development of landscaping islands throughout the lot to comply by parking lot standards. The petitioner states that there are enough parking stalls to accommodate employees and clinic patrons. City staff notes that the medical facility at 226 Bluebell Road has more than the required parking spaces to accommodate the use of the property. **Parking requirements satisfied.**

**Open Green Space/Landscaping:**

The MU District requires that open green space be provided at the rate of 10% of the total development site area excluding the required district setbacks. The development site is 14.65 acres or 638,154 square feet. The total developed area excluding the landscape setbacks is 573,133 square feet, therefore the minimum open space required for the site is 57,313 square feet. The proposed open space is 434,249 square feet, which is more than the required open space. **The open green space requirement is met.**

In addition to the green space requirement, the MU district has a landscaping requirement of 0.02 landscaping points per square foot of total development site area. For a 573,133 square feet lot, 11,462 landscaping points are needed. The proposed landscaping plan is proposing to add 8,960 landscaping points, in addition to the existing 3,810 planting points on site. This will sum up to 12,770 planting points, which is more than the required points for the site. The proposed landscaped areas will be distributed throughout the development site.

The MU District also requires 0.75 landscaping points for street trees per linear foot of public street frontage. This development is required to provide 984 (1,320 feet x 0.75) landscaping points worth of street trees. In response, the existing site comprises of 1,280 points which are more than required points for street trees.

In addition to these requirements, parking lot screening and landscaping requirements will also be applicable. Minimum 1 overstory tree for every 15 parking stalls or every 2,500 sq. of parking space should be provided. For total of 187 parking stalls, 13 overstory trees are required. In response, developer has proposed to add 22 overstory trees in addition to the existing 6 trees on site. For screening the parking areas from public view, shrubs are provided in the periphery of parking areas. **Landscaping and screening requirements are satisfied.**

**Proposed landscaping with this project includes:**

- Parking areas will be screened from public view with additional shrubs and trees around the perimeter.
- The interior of the parking lot will be enhanced with additional landscaped islands planted with shrubs and trees, which will help shade the parking area and reduce heat island effects on the site.

**Building Height:**

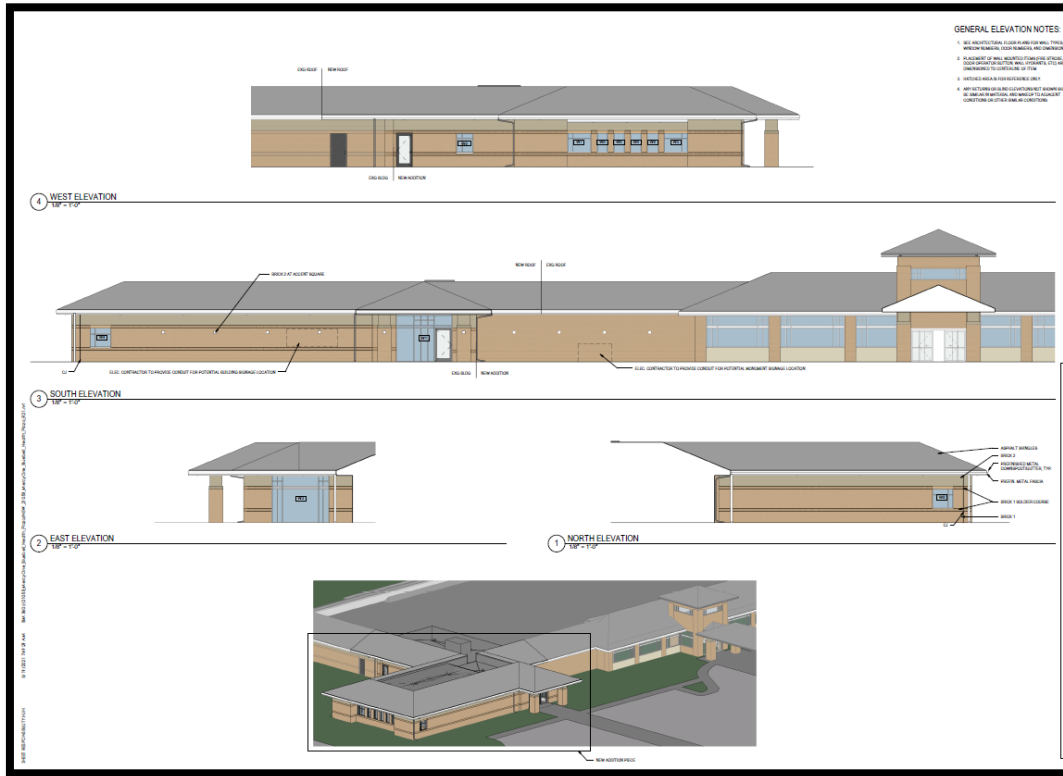
The maximum building height allowed in this district is 35 feet or three stories, whichever is less. The proposed building addition will be one story in height and will match the height of the existing building. The proposed building addition will expand the existing building in the south-west direction. **Building height satisfied.**

**Building Design Review:**

The MU District requires a design review of various elements to ensure architectural compatibility to surrounding structures within the MU District. In this case, since, there is no new building proposed, we would review the proposal in comparison to existing building design features and surrounding buildings.

All the neighboring properties including the subject property are part of MU, Mixed-Use Residential Zoning District and also part of Pinnacle Prairie Master Plan. Building design should respond both to MU District zoning standards and Pinnacle Prairie Master Plan design guidelines. Applicant mentions that the proposed building addition design has been approved by the Pinnacle Prairie Design Committee.

The proposed building elevation uses similar exterior façade materials and similar roofing materials as the existing building. The slope of the roof is consistent with the overall building envelope. Proposed façade materials include a majority of brick façade, with two horizontal bands of brick soldier course up to the lintel level to break the horizontal pattern and the area above lintel band comprises of another type of brick, one that is similar to the existing building. Proposed roofing materials will be asphalt shingles that will match the existing roofing material on the building. Overall, the building design of the proposed addition will be similar to the existing building on-site and also will be consistent with MU District Design Review guidelines. Below are the proposed elevations of the addition in correspondence to the existing building design. **Criterion met.**



### **Signage:**

At this time, there is no new signage proposed. **No new signage is proposed.**

### **Access locations / Sidewalks /Trails:**

The site includes two driveway locations. Both the driveways access Bluebell Drive. The Pinnacle Prairie Master plan shows similar access to the site. No new access point or driveway is proposed with this project.

Currently, the site does not have any sidewalks along Bluebell Road, so there is no pedestrian connectivity between this facility and surrounding properties. This appears to be an oversight when the original clinic was built. To remedy this situation, the applicant has agreed to add a 5-foot sidewalk bordering the north and east lot line of the site along Bluebell Road from their northern driveway to the east driveway to bring the site into compliance for the developed portion of the site. This sidewalk will connect with the sidewalk on the site of the Public Safety Building, which extends to the sidewalk along Main Street. This addition will allow the pedestrians to easily access the medical facility on foot or by bicycle and will improve general pedestrian circulation in the area. Pedestrian walkways are extended to provide access to and around the various buildings on the site and to all entrances.

City staff notes that the applicant acknowledges that the sidewalk will need to be extended further to the southern boundary of the property along Bluebell Road with future development of the site. The applicant may subdivide the southern part of property to allow other development to occur. The remainder of the sidewalk will be required to be constructed with this future subdivision. To demonstrate the same, the applicant has submitted a master plan exhibit for the site to indicate how this might be accomplished and their commitment to installing the sidewalk. See below plan for reference.

Also, as part of the Pinnacle Prairie Master Plan, there is a 10-foot wide trail to be placed bordering the southern lot line of site that will bridge the gap between the existing trail on S. Main Street on the west and one along the Bluebell Road. As the southern part of the subject property is not yet developed, applicant notes that the trail will be placed as per the master plan with future development of the site. This piece of information is also noted on the prepared master plan exhibit. See plan to the right for reference.



### **Infrastructure Improvements:**

**Stormwater:** The additional stormwater runoff generated by the proposed additional parking area will be directed to a private storm sewer at the southeast corner of the parking area and conveyed to new detention pond in the southeast area of the site. This detention pond will drain into the existing public storm sewer that runs along Bluebell Road. The additional stormwater generated from the proposed building addition will be directed to a bio-cell that slowly drains into the existing private storm sewer.

**Sanitary Sewer:** There will be no improvements or connections to the public sanitary sewer system.

**Street Improvements:** There will be no improvements or connections to public streets.

### **Other Site Elements:**

Details of the site improvements are enclosed in the packet. The site is already equipped with a trash enclosure, located in the north-western area of the site. No new dumpster enclosure is proposed at this time.

The site lighting will include relocating decorative light bollards or pathway lights from the southern building wall towards the handicap parking stalls for providing better visibility. And the site also features about five light pole fixtures that are existing, The plan is to add another fixture to current poles and face it southward for coverage of the proposed addition to the parking area. No additional details on the specification are provided by the applicant, but the intent is to

continue the use with most of the existing fixtures. These are downcast lights that do not project outward into the neighboring properties. Site lighting details are provided on the attached Utility Plan for additional reference.

### **TECHNICAL COMMENTS**

City technical staff, including Cedar Falls Utilities (CFU) personnel, has reviewed the proposed site plan. All utilities including water, electric, gas and communications are available to the site in accordance with CFU service policies. City Staff notes that the developer is responsible to ensure that the proposed detention pond is sized properly to accommodate not only runoff from the new parking pavement, but from all undeveloped areas on-site and off-site that will drain to it. Maintenance of this detention pond will be the responsibility of the property owner.

A courtesy notice to adjoining property owners was mailed on August 18, 2021.

**STAFF RECOMMENDATION** The Community Development Department recommends approval of the proposed site plan for Bluebell Health Clinic OBGYN addition with the following stipulation:

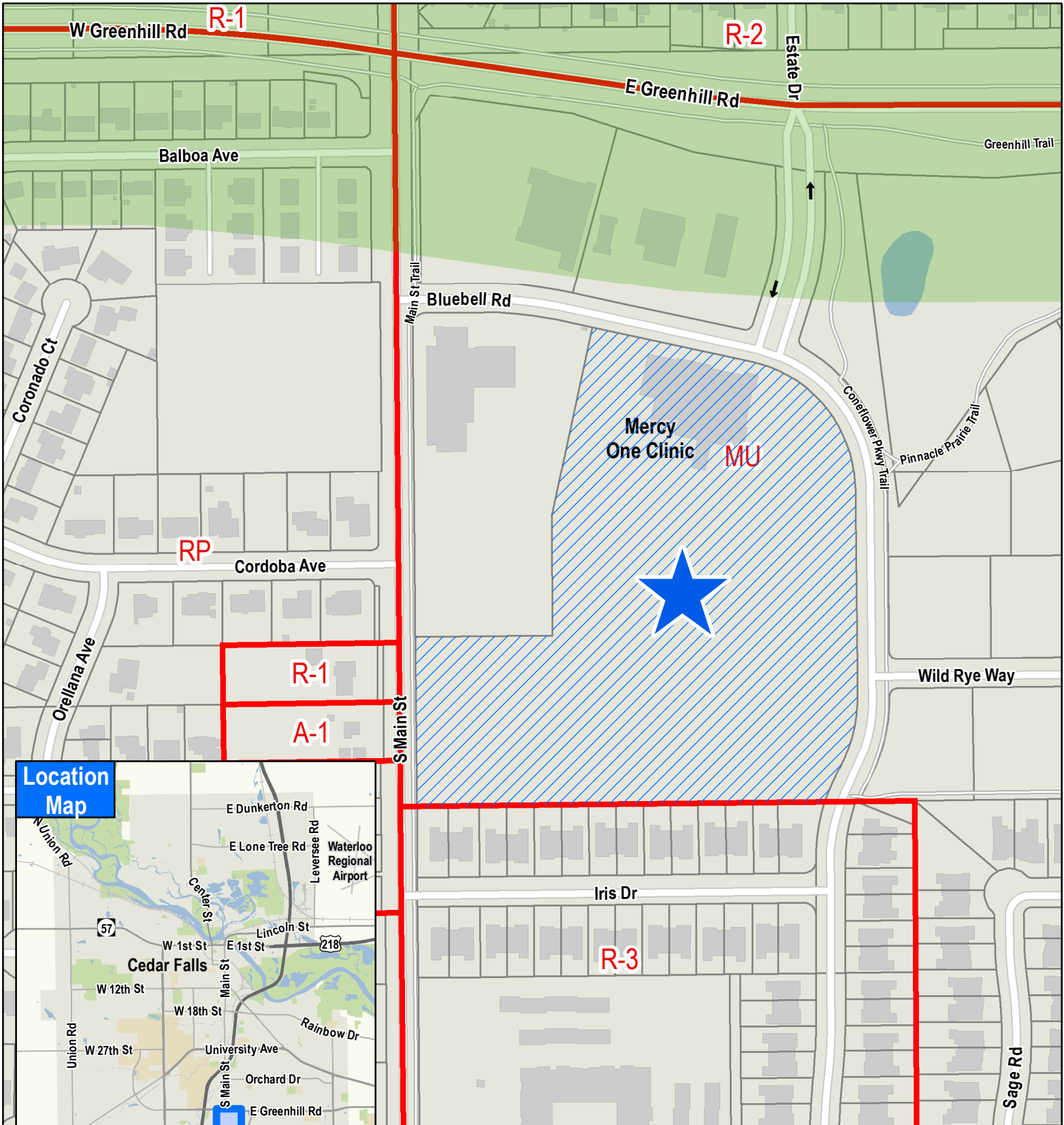
- 1) Any comments or direction specified by the Planning and Zoning Commission.
- 2) Conform to all city staff recommendations and technical requirements.

### **PLANNING & ZONING COMMISSION**

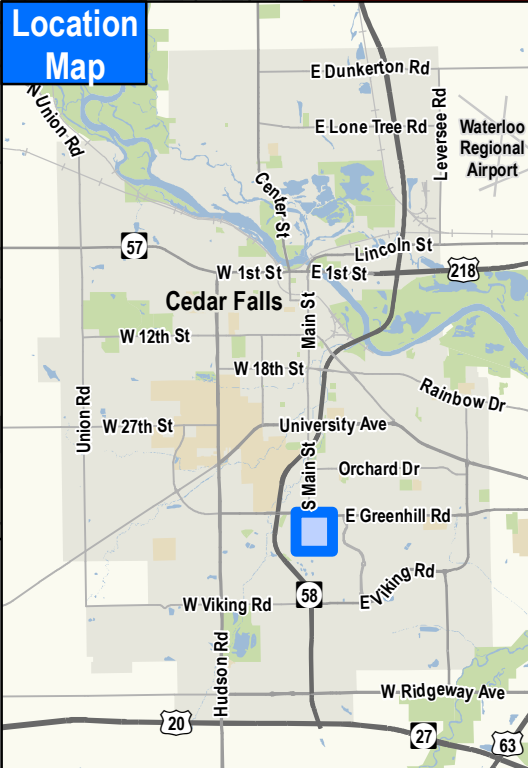
Introduction  
&  
Discussion  
8/25/2020

# Cedar Falls Planning & Zoning Commission August 25, 2021

Item 4.



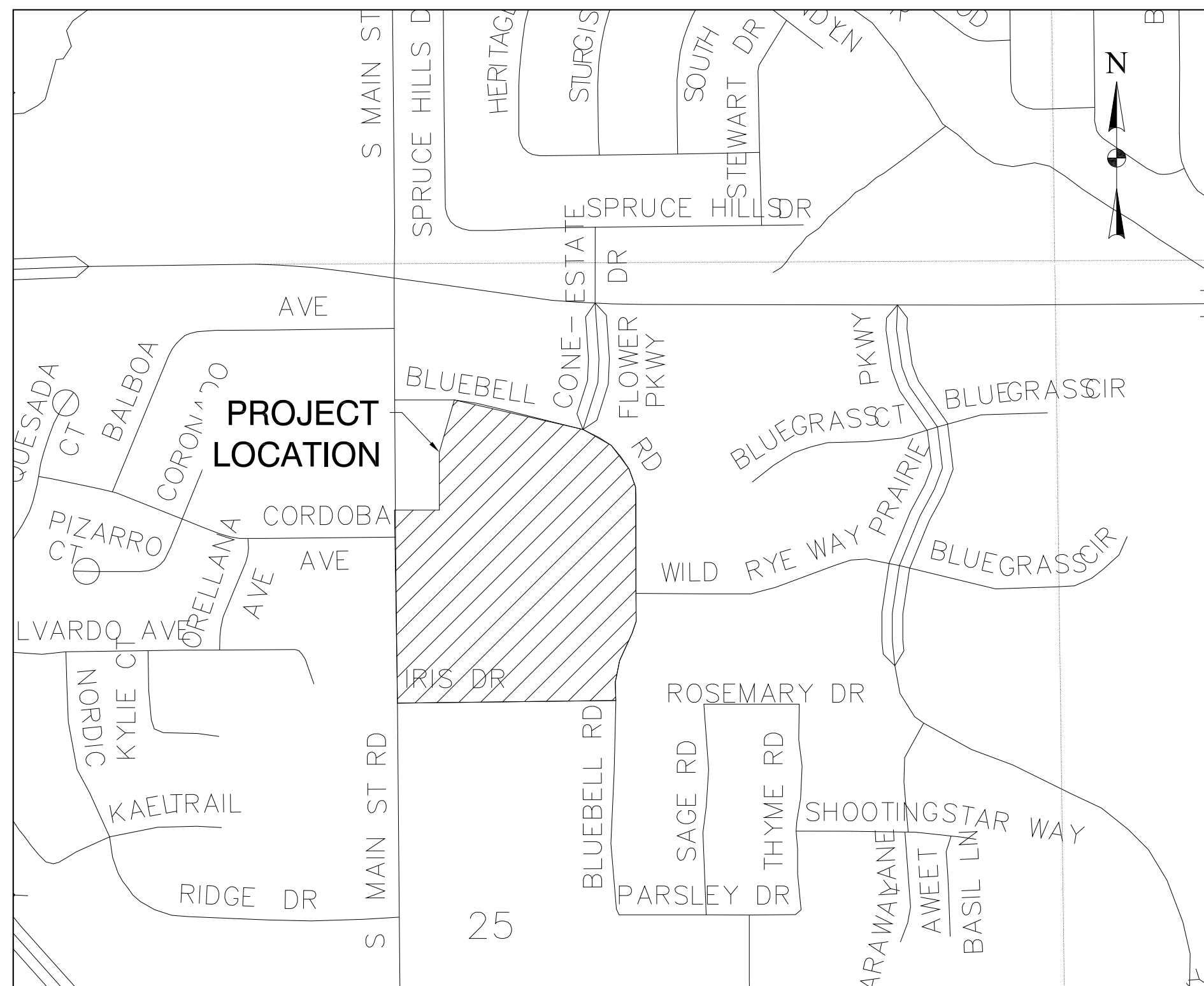
### Location Map



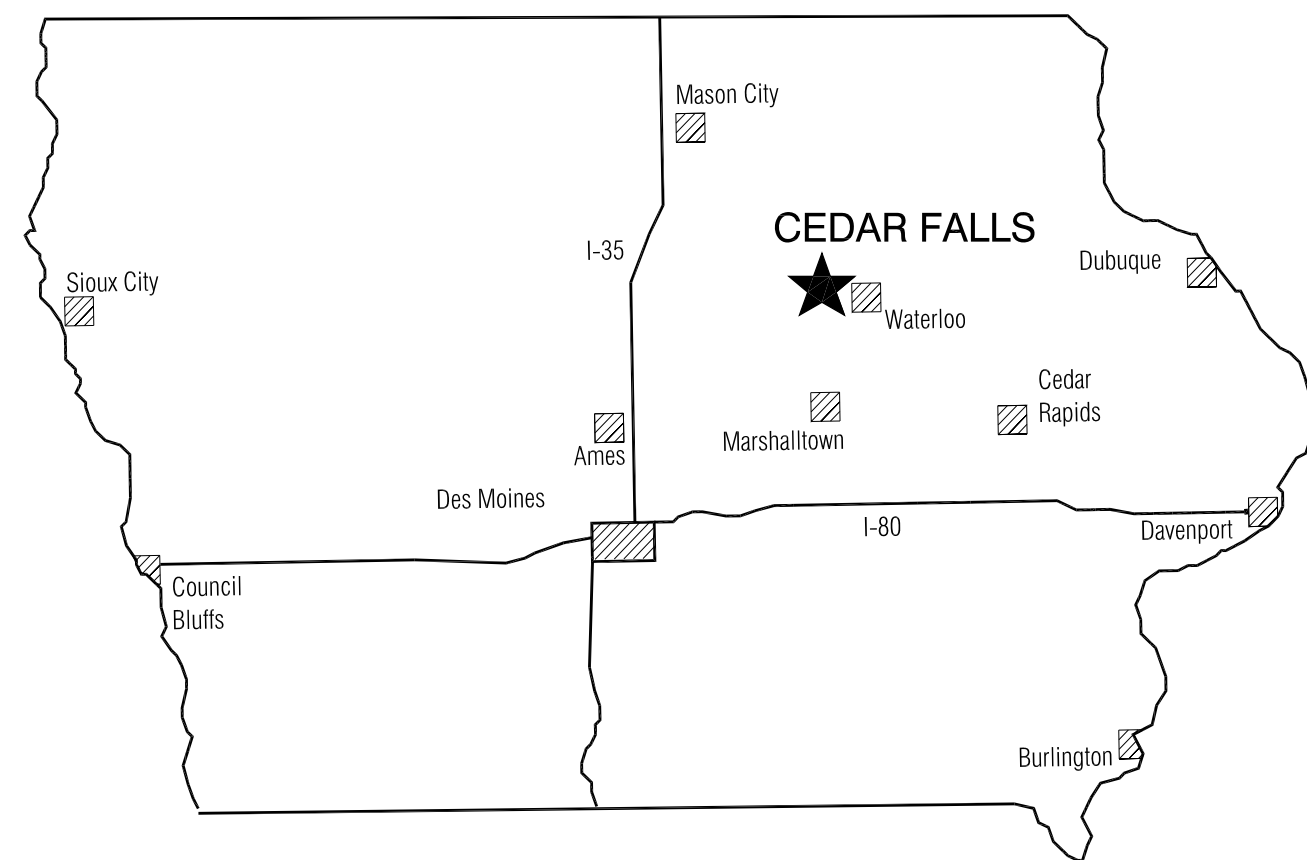
## MU Site Plan Review for Bluebell Health Plaza at 226 Bluebell Road

# MERCY HEALTH BLUEBELL HEALTH PLAZA OBGYN ADDITION CEDAR FALLS, IOWA

Item 4.



**VICINITY MAP**  
NOT TO SCALE



**LOCATION MAP**

WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, CURRENT EDITION (SUDAS) AND THE CITY OF CEDAR FALLS STANDARD SPECIFICATIONS

**INDEX OF SHEETS**

SHEET NO.	DESCRIPTION
C0.00	TITLE SHEET
C1.00	SYMBOLS, LEGEND AND GENERAL INFORMATION
C1.10	EXISTING CONDITIONS & DEMOLITION PLAN
C2.00	LAYOUT & UTILITY PLAN
C3.00	GRADING PLAN
C3.10	STORM WATER POLLUTION PREVENTION PLAN
C.400	LANDSCAPE PLAN
C.500-C.503	DETAILS

REVISIONS:  
Description Date No.

OWNER SIGN-OFF:  
DATE NAME

MERCY HEALTH  
**BLUEBELL HEALTH PLAZA  
OBGYN ADDITION**  
226 BLUEBELL RD  
CEDAR FALLS, IA 50613

PROJECT NO:  
21053

DATE:  
Aug 16, 2021

SHEET SET:  
CONSTRUCTION  
DOCUMENTS

SHEET NAME:  
TITLESHEET

SHEET:

**C0.00**

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Clapsaddle-Garber Associates, Inc  
5106 Nordic Dr.  
Cedar Falls, Iowa 50613  
Phone 319-266-0258  
www.cgaconsultants.com

	<p>I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.</p>
17135	
Signature Mindy M. Bryngelson, PE Iowa License Number 17135 My license renewal date is December 31, 2021	Date
Pages or sheets covered by this seal: _____	

J:\5836\dwg\Sheets\Plan\_S&M\5836-C1.dwg - C0.00 - 08/16/21 - 4:47pm - mac286

LEGEND

Legend table listing symbols for existing and proposed utilities, structures, and features such as trees, water lines, electrical lines, and buildings.

Legend table listing symbols for existing and proposed control points and monuments, including rail or lot corners, concrete monuments, and survey control points.

CONTROL POINTS:

Table of control points with columns for Number, Northing, Easting, Elevation, and Description.

EXISTING/PROPOSED USE

MEDICAL OFFICE

PROPERTY ADDRESS:

226 BLUEBELL RD CEDAR FALLS, IA 50613

OWNER OF RECORD:

COVENANT MEDICAL CENTER INC 3421 W 9TH ST. WATERLOO, IA 50702

NOTES:

- Notes regarding bearings, observations, and underground utilities.

SITE PLAN PREPARED BY:

PROJECT MANAGER: MINDY BRYNGELSON CLAPSADDLE-GARBER ASSOCIATES, INC

DATE OF PREPARATION:

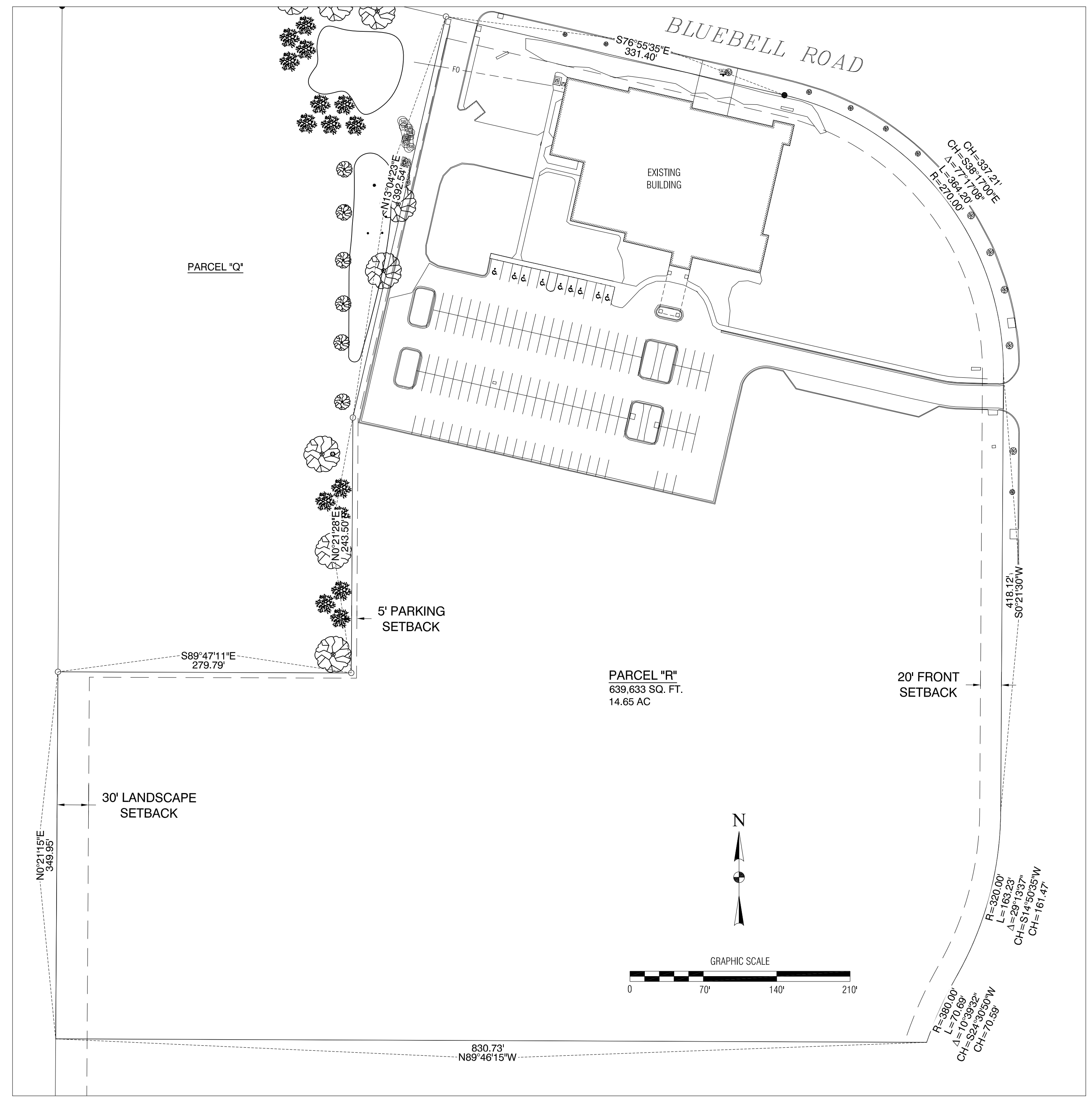
08-16-2021

FIELD WORK COMPLETED:

06-29-2021

LEGAL DESCRIPTION

PARCEL R BEING A DIVISION OF LOT 35 PINNACLE PRAIRIE BUSINESS CENTER NORTH, CITY OF CEDAR FALLS, IA. SUBJECT TO EASEMENTS & RESTRICTIONS OF RECORD.



501 Sycamore Street Suite 101 Waterloo, IA 50703 319.233.8419 319.233.9772 Fax www.invisionarch.com

CONSULTANT: STRUCTURAL BISHOP CONSULTING ENGINEERS, P.C. MECHANICAL AND PLUMBING YOUNG PLUMBING HEATING & COOLING ELECTRICAL COMMUNITY ELECTRIC SITE CGA CONSULTANTS

REVISIONS:

Table for recording revisions with columns for Description, Date, and No.

OWNER SIGN-OFF:

DATE NAME

MERCY HEALTH BLUEBELL HEALTH PLAZA OBGYN ADDITION 226 BLUEBELL RD CEDAR FALLS, IA 50613

PROJECT NO: 21053 DATE: Aug 16, 2021 SHEET SET: CONSTRUCTION DOCUMENTS

SHEET NAME: SYMBOLS, LEGEND, & GENERAL INFORMATION

SHEET: C1.00

UTILITY LINETYPES WITH A QUALITY LEVEL INDICATOR (\*) HAVE BEEN LOCATED PER THE FOLLOWING ASCE STANDARD GUIDELINE FOR THE COLLECTION & DEPICTION OF EXISTING SUBSURFACE UTILITY DATA\*:

- A) - PRECISE HORIZONTAL & VERTICAL LOCATION OF UTILITIES OBTAINED BY THE ACTUAL EXPOSURE (OR VERIFICATION OF PREVIOUSLY EXPOSED & SURVEYED UTILITIES) & SUBSEQUENT MEASUREMENT OF SUBSURFACE UTILITIES. QUALITY LEVEL B DATA SHOULD BE REPRODUCIBLE BY SURFACE GEOPHYSICS AT ANY POINT OF THEIR DEPICTION. THIS INFORMATION IS SURVEYED TO APPLICABLE TOLERANCES DEFINED BY THE PROJECT & REDUCED ONTO PLAN DOCUMENTS.
- B) - INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE & APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. QUALITY LEVEL B DATA SHOULD BE REPRODUCIBLE BY SURFACE GEOPHYSICS AT ANY POINT OF THEIR DEPICTION. THIS INFORMATION IS SURVEYED TO APPLICABLE TOLERANCES DEFINED BY THE PROJECT & REDUCED ONTO PLAN DOCUMENTS.
- C) - INFORMATION OBTAINED BY SURVEYING & PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES & BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.
- D) - INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

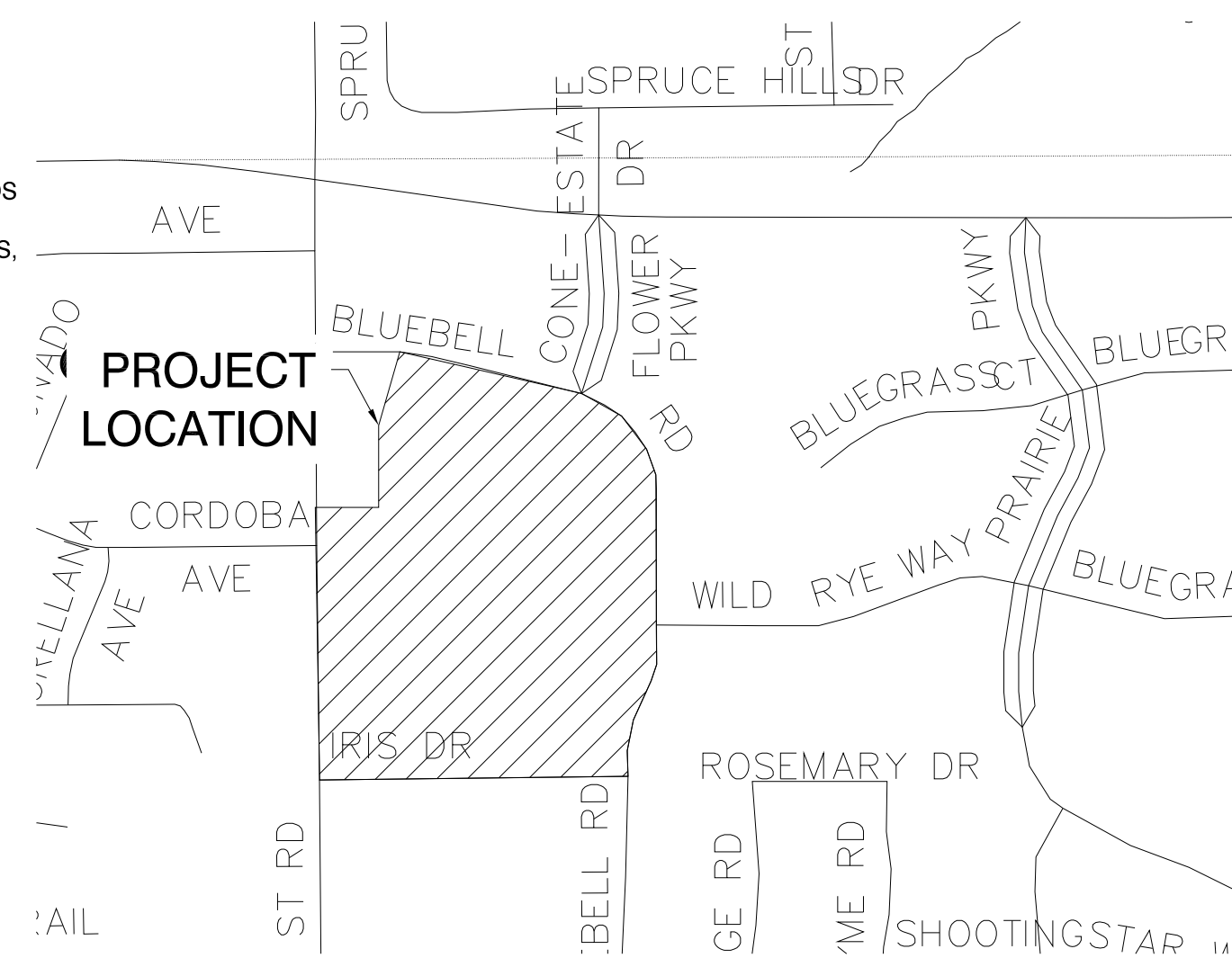
UTILITY COMPANIES

THE FOLLOWING UTILITIES ARE PRESENT ON THIS PROJECT

Table listing utility companies and their contact information, including MediaCom, Cedar Falls Utilities, City of Cedar Falls, CenturyLink, and Aureon Network Services.

NOTE: TYPICAL DEPTH OF COVER ON WATERMAIN PIPE IN Cedar Falls IS 6 FT.

UNDERGROUND STRUCTURES, FACILITIES, AND UTILITIES HAVE BEEN PLATTED FROM AVAILABLE SURVEYS, RECORDS AND DEEDS. THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN.



VICINITY MAP

NOT TO SCALE

Zoning Compliance Summary

Table summarizing zoning compliance for MU-Mixed use Residential, including criteria like Principal Permitted Use, Maximum Building Height, Setback, Signage, Landscaping, and Parking Spaces.

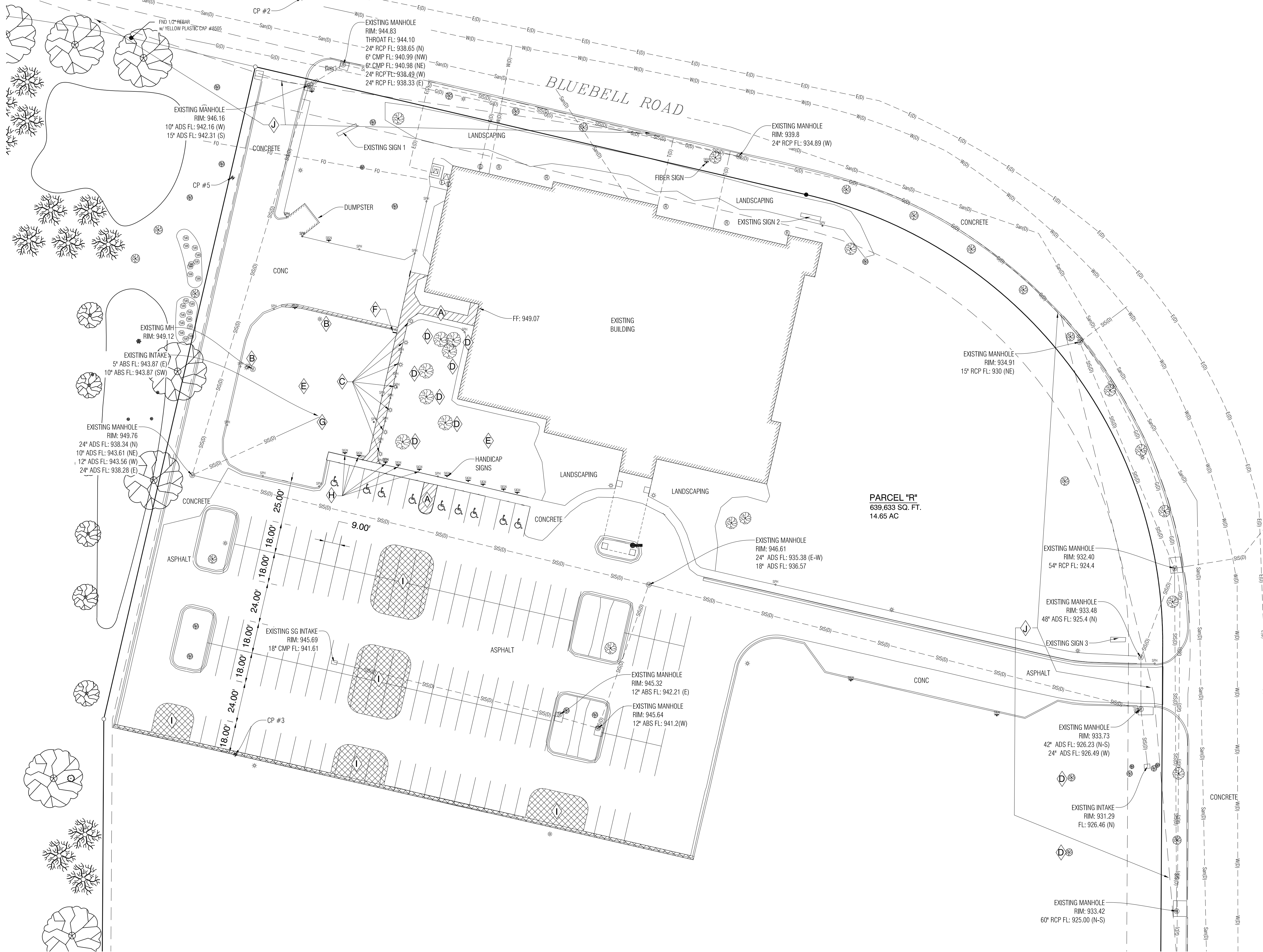


**GENERAL DEMOLITION NOTES:**

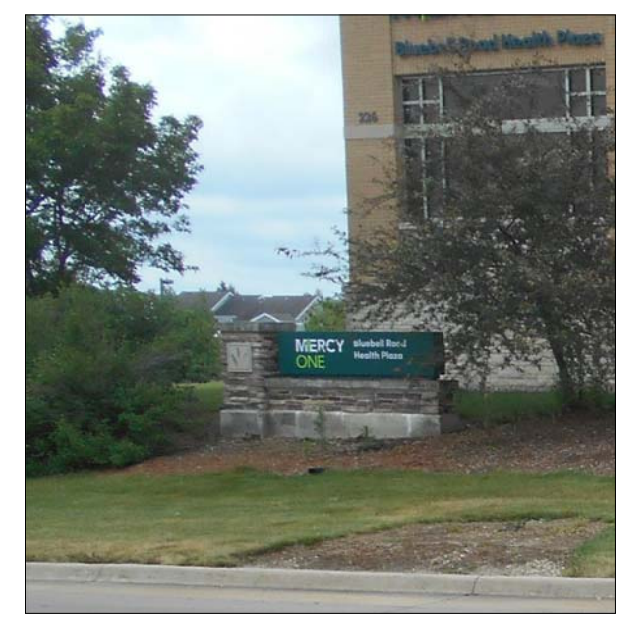
- ADJOINING PROPERTIES SHALL BE PROTECTED DURING DEMOLITION OPERATIONS. DEBRIS ON ADJOINING PROPERTIES SHALL BE CAREFULLY REMOVED BY CONTRACTOR. ANY DAMAGE TO EXISTING PAVEMENT TO REMAIN DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ALL EFFORTS SHALL BE MADE TO NOT DISTURB EXISTING PAVEMENT TO REMAIN.
- REMOVE ALL SIGNS, LIGHTS, POSTS, POLES, WALLS, AND ASSOCIATED FOUNDATIONS AS INDICATED. BACKFILL ALL HOLES AND DEPRESSIONS WITH SUITABLE SOIL.
- CONTRACTOR SHALL SUPPLY DETAILED CONSTRUCTION SCHEDULE TO THE CITY. ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY:  
A. CITY OF CEDAR FALLS  
B. OWNER  
C. CLAPSADDLE-GARBER ASSOCIATES, INC.
- CONTRACTOR SHALL DISPOSE OF PAVEMENT & FENCING OFF-SITE
- ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS, OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.

**KEY DEMOLITION CONSTRUCTION NOTES:**

- A** REMOVE CONCRETE & ALL ASSOCIATED CURBS TO NEAREST JOINT LINE OR AS INDICATED.
- B** REMOVE POLE LIGHT & ASSOCIATED FOUNDATIONS. BACKFILL HOLES WITH SUITABLE SOIL & RELOCATE. SEE LIGHTING PLAN
- C** REMOVE LIGHT BOLLARDS & ASSOCIATED FOUNDATIONS. BACKFILL HOLES WITH SUITABLE SOIL & RELOCATE. SEE LIGHTING PLAN
- D** TREE TO BE RELOCATED. (COMPLETELY REMOVE EXISTING TREE & ROOTBALL. BACKFILL DEPRESSIONS WITH SUITABLE SOIL.)
- E** REMOVE EXISTING SPRINKLER SYSTEM AS NEEDED
- F** REMOVE ELECTRIC PANEL
- G** REMOVE EXISTING STORM INTAKE.
- H** RELOCATE EXISTING SIGN POSTS, & ASSOCIATED FOUNDATIONS. BACKFILL HOLES WITH SUITABLE SOIL.
- I** REMOVE ASPHALT & ALL ASSOCIATED CURBS.
- J** SIGHT TRIANGLE.



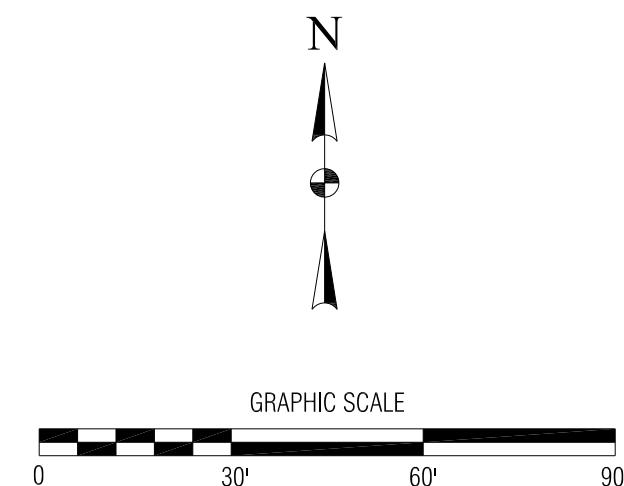
**EXISTING SIGN 1**



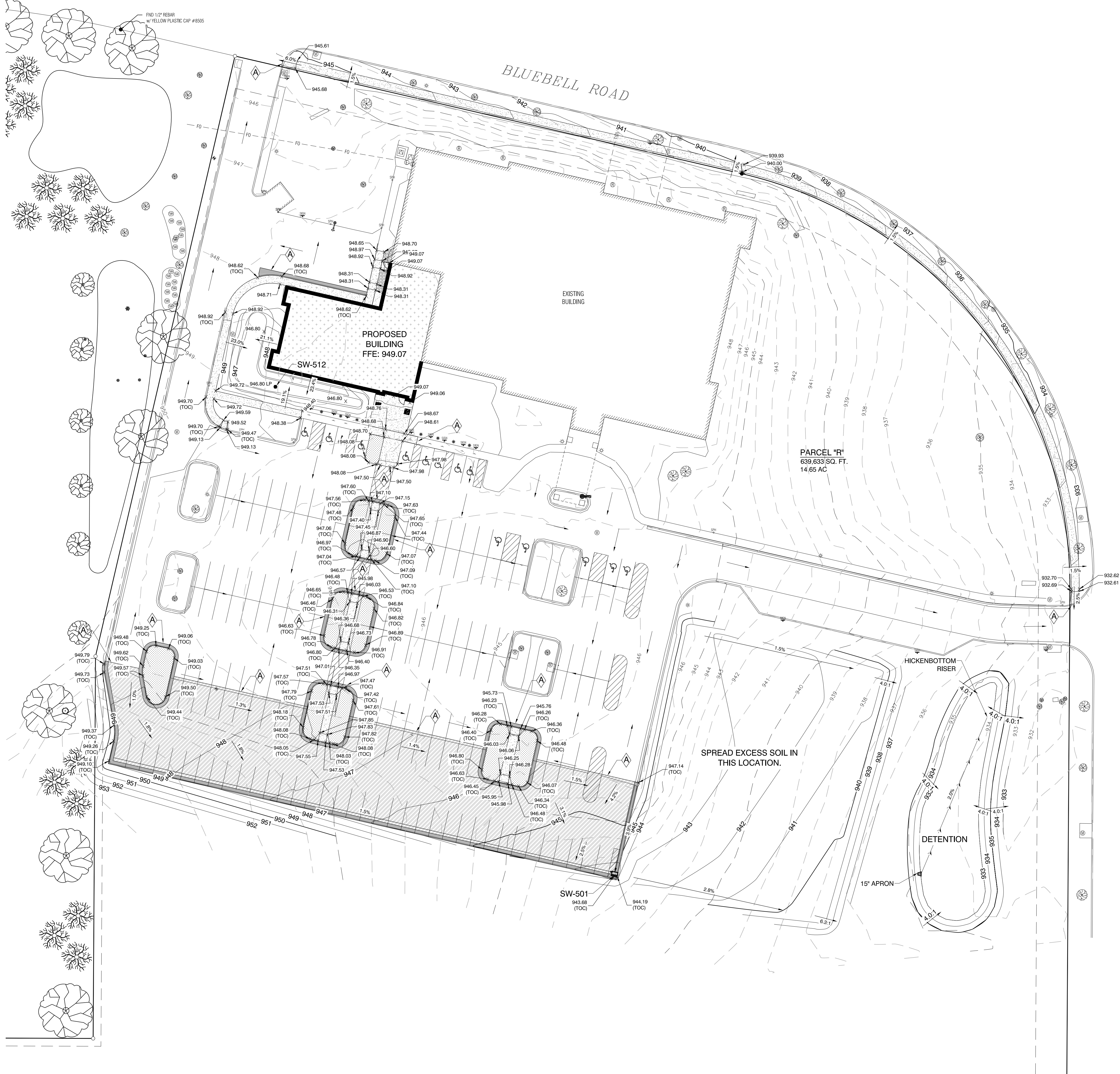
**EXISTING SIGN 2**



**EXISTING SIGN 3**





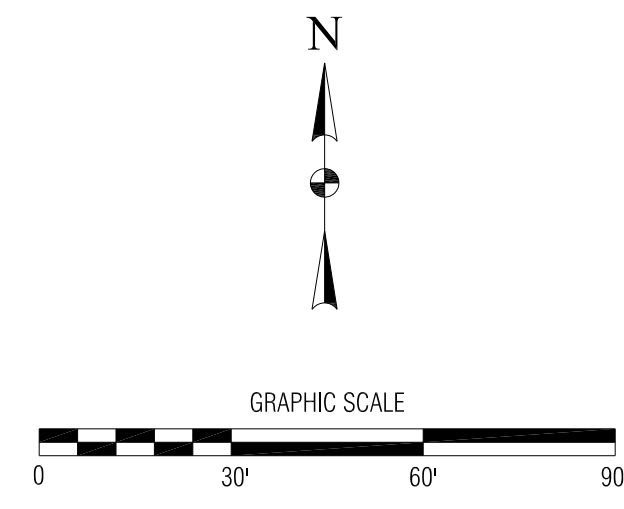


**GENERAL GRADING NOTES**

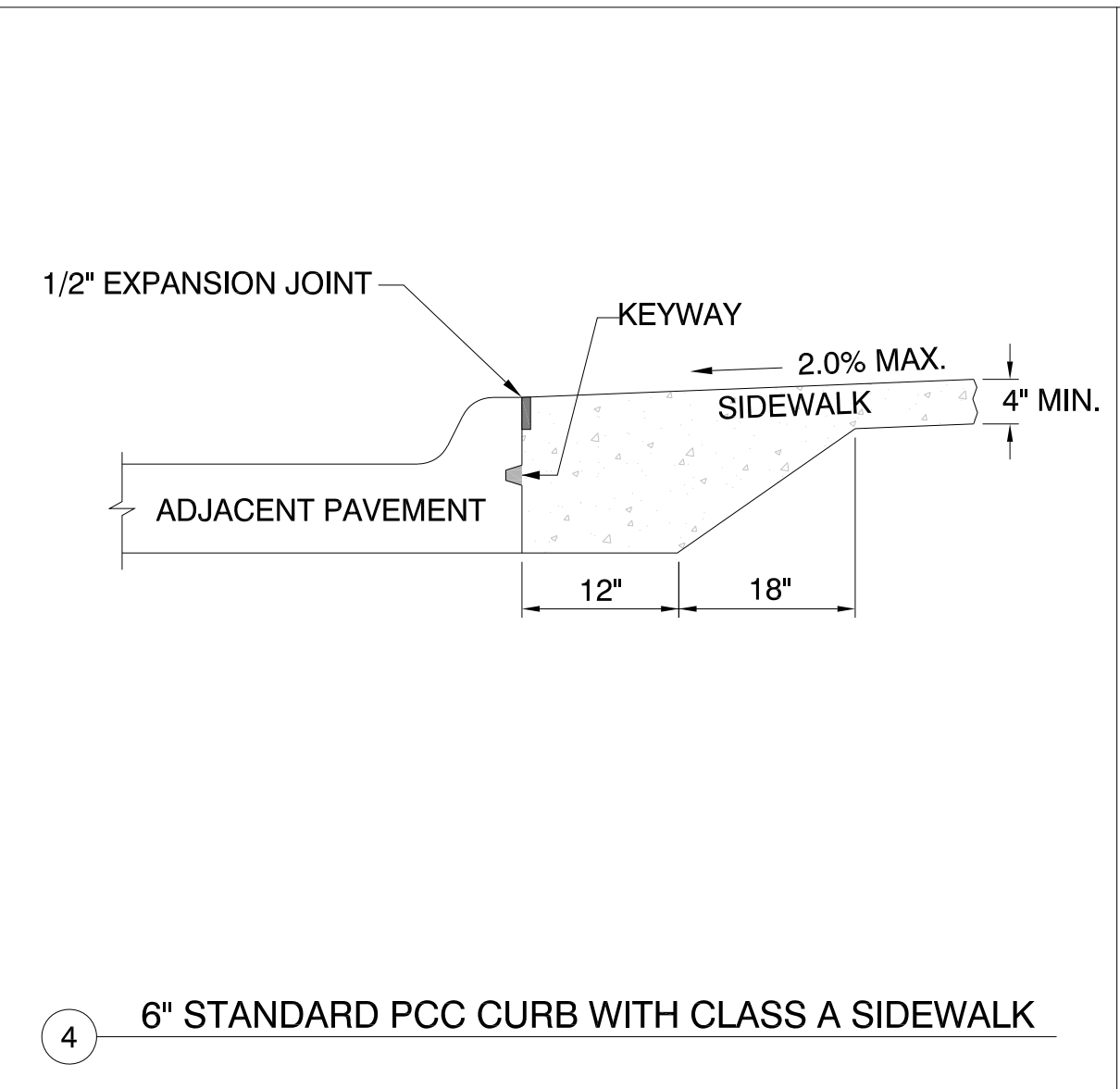
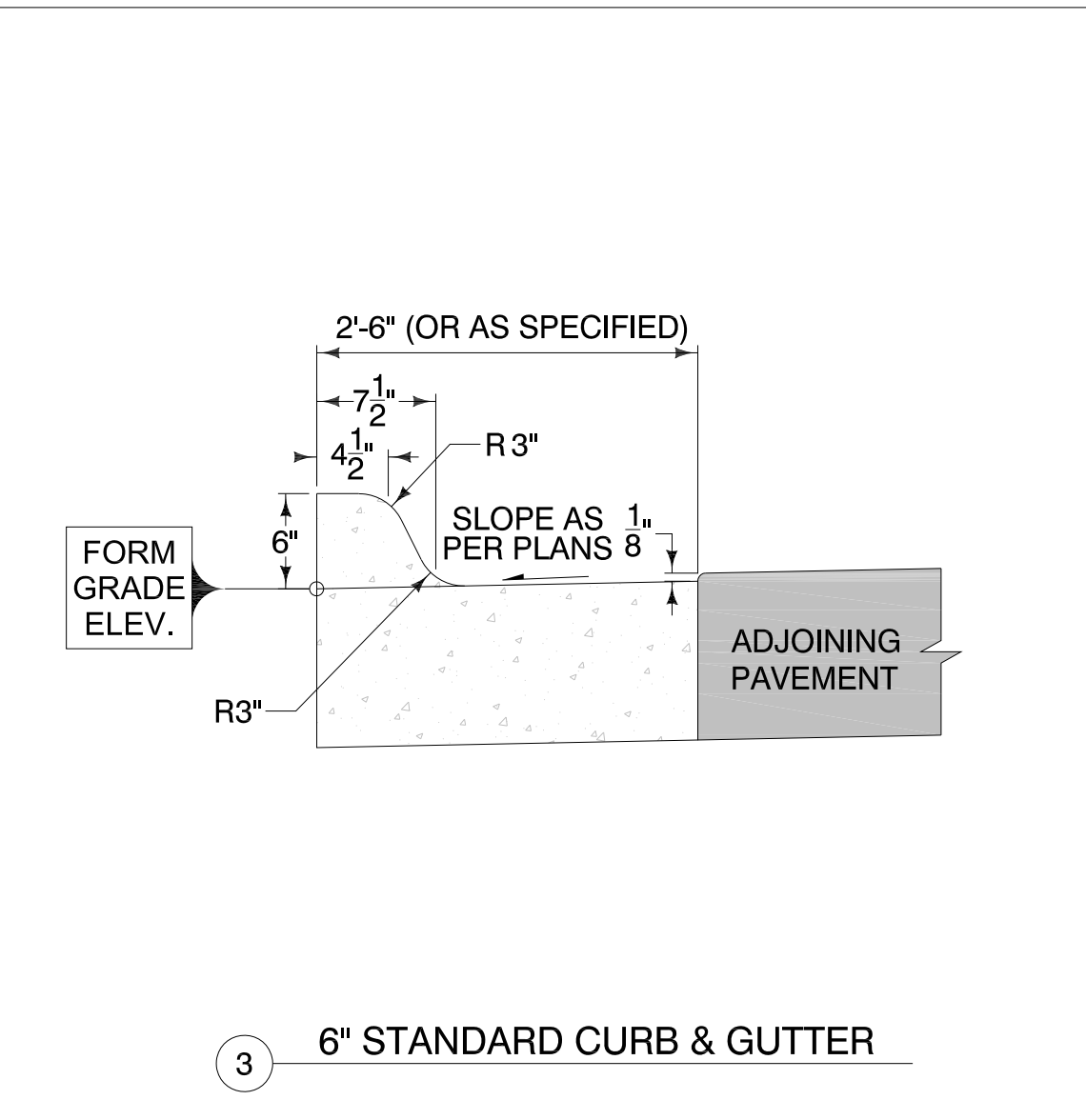
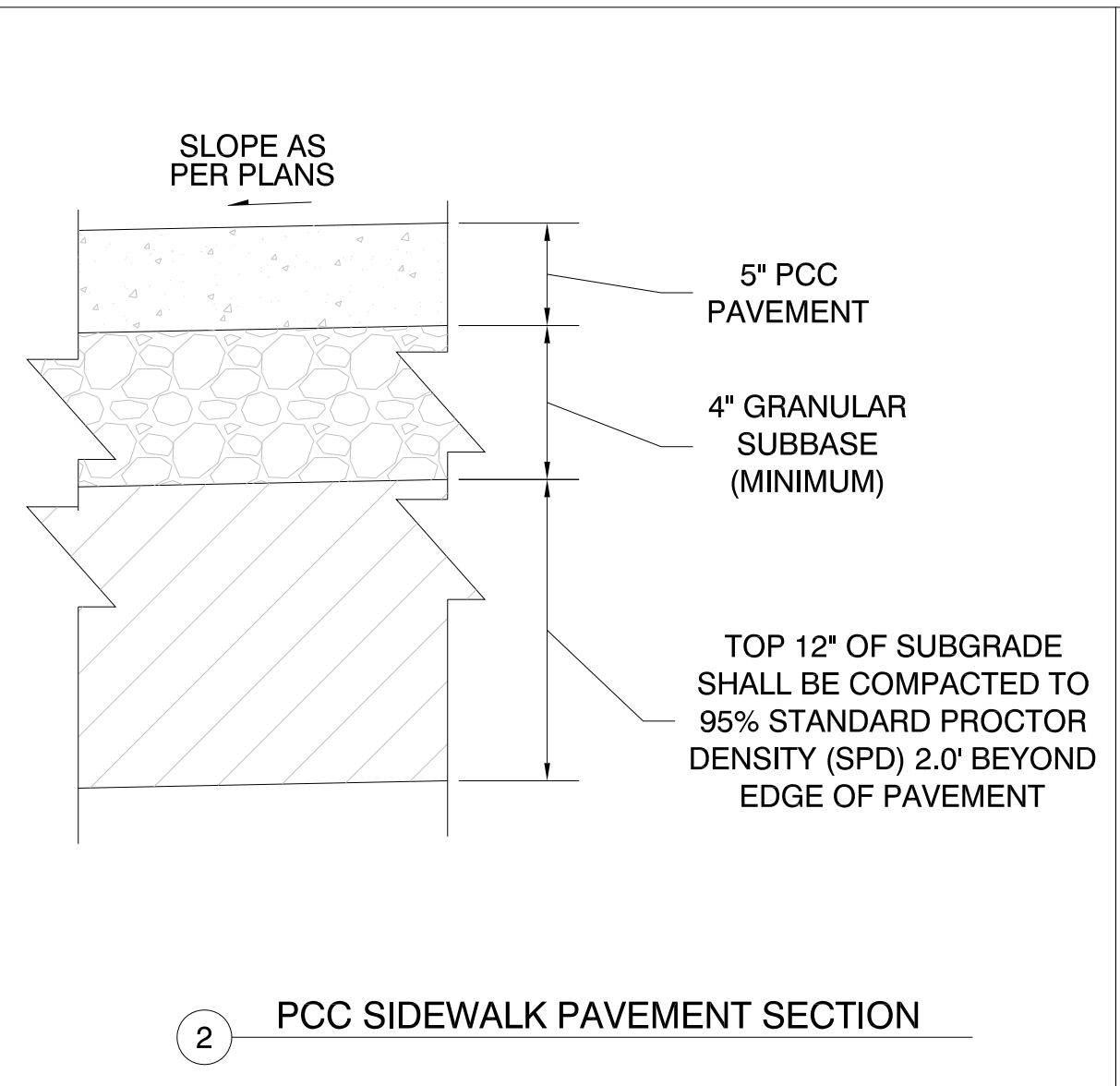
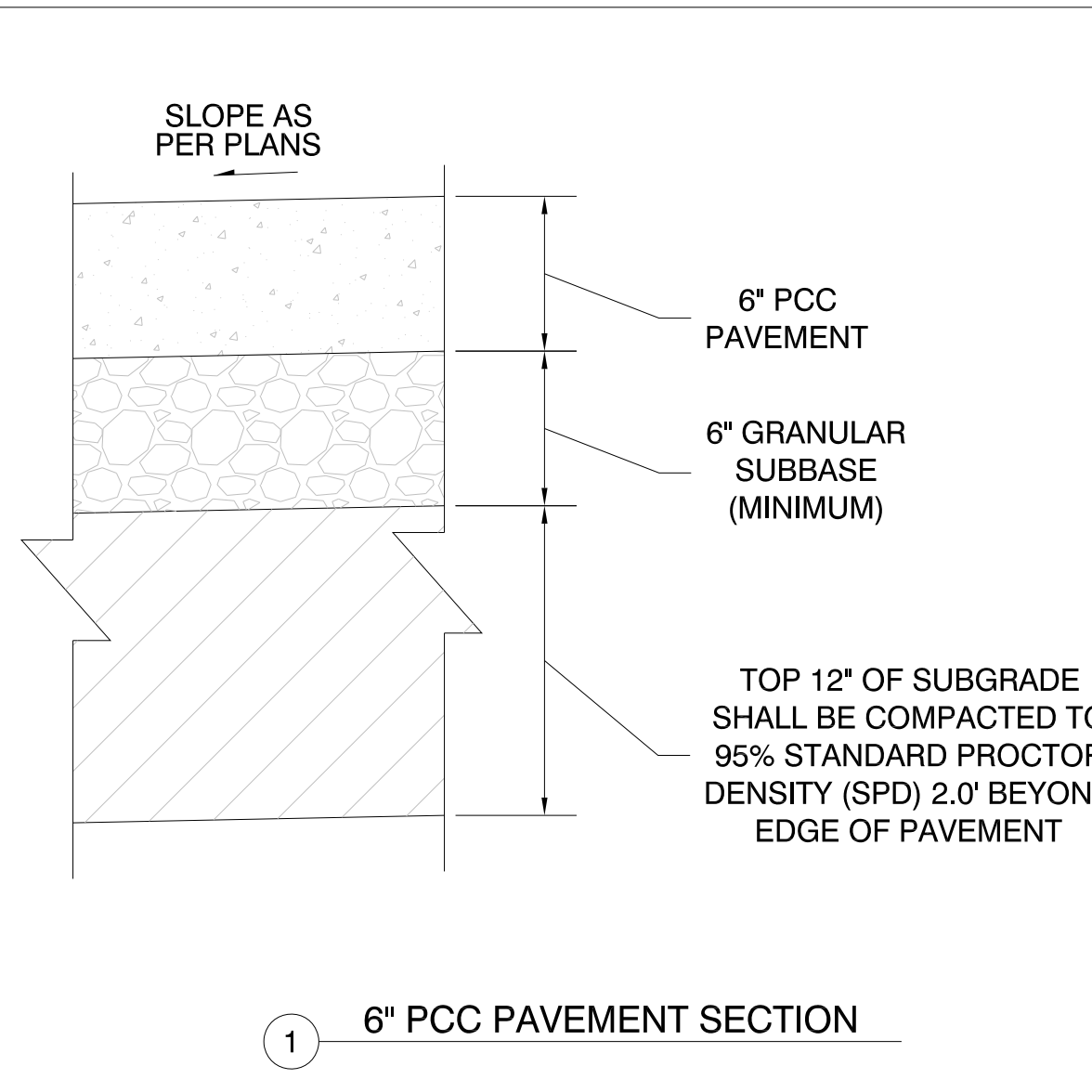
1. SLOPES SHALL NOT BE GREATER THAN 3:1
2. GRADE TO DRAIN AWAY FROM ALL BUILDINGS.
3. SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2%. CONTRACTOR SHALL TARGET 1.5% CROSS SLOPE.
4. STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED (A MINIMUM OF 6") & STOCKPILE AS PER PLAN. RESPREAD TOPSOIL AT LEAST 8" DEEP AS PER SPECIFICATIONS.
5. GEOTECHNICAL REPORT IS AVAILABLE UPON REQUEST.

**LEGEND**

- TOC TOP OF CURB
- HP HIGH POINT
- LP LOW POINT
- T/W TOP OF WALL
- B/W BOTTOM OF WALL
- 2.0% PROPOSED SLOPE
- PROPOSED DRAINAGE PATTERN
- MATCH EXISTING PAVEMENT ALONG ENTIRE LENGTH



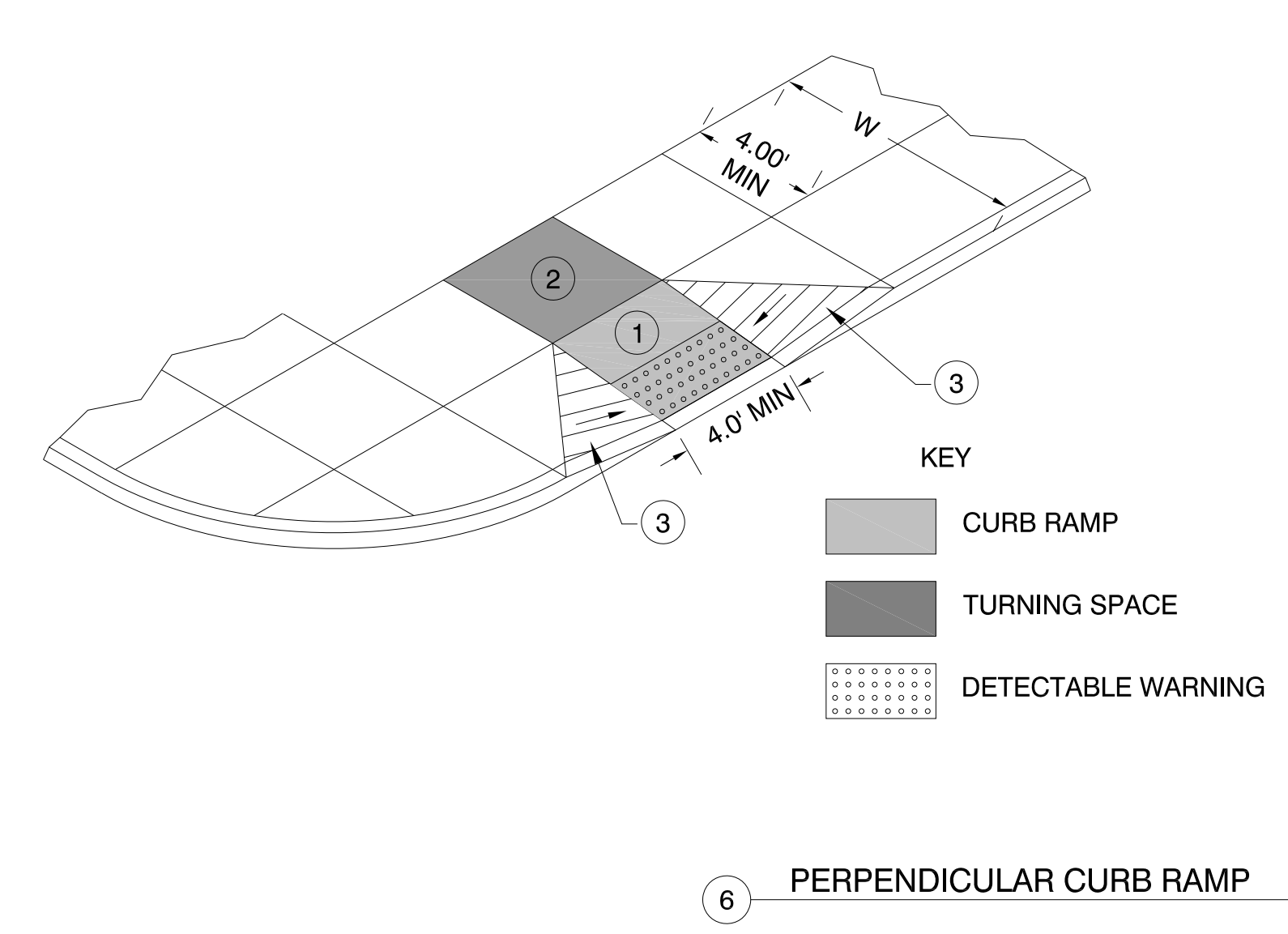
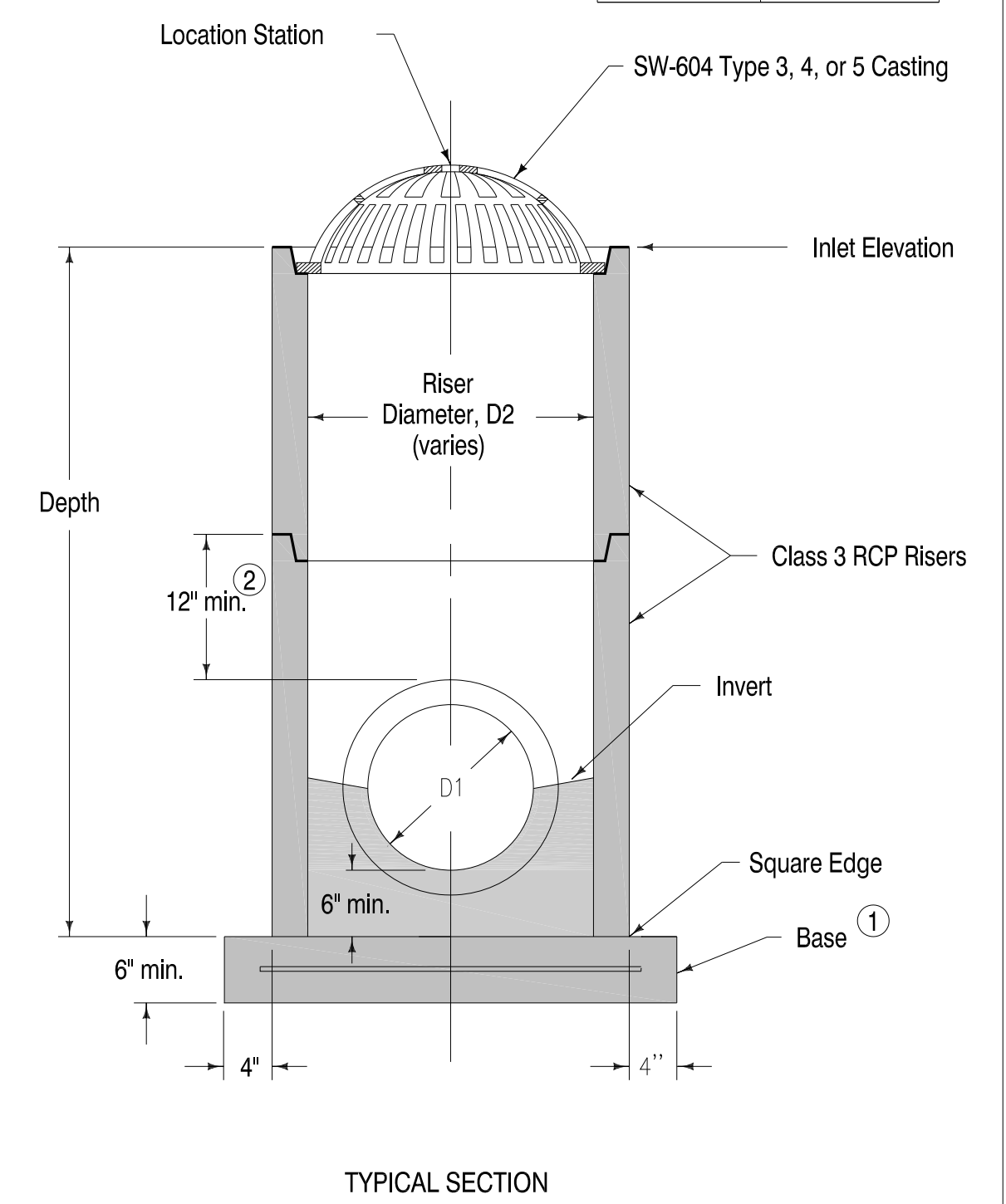




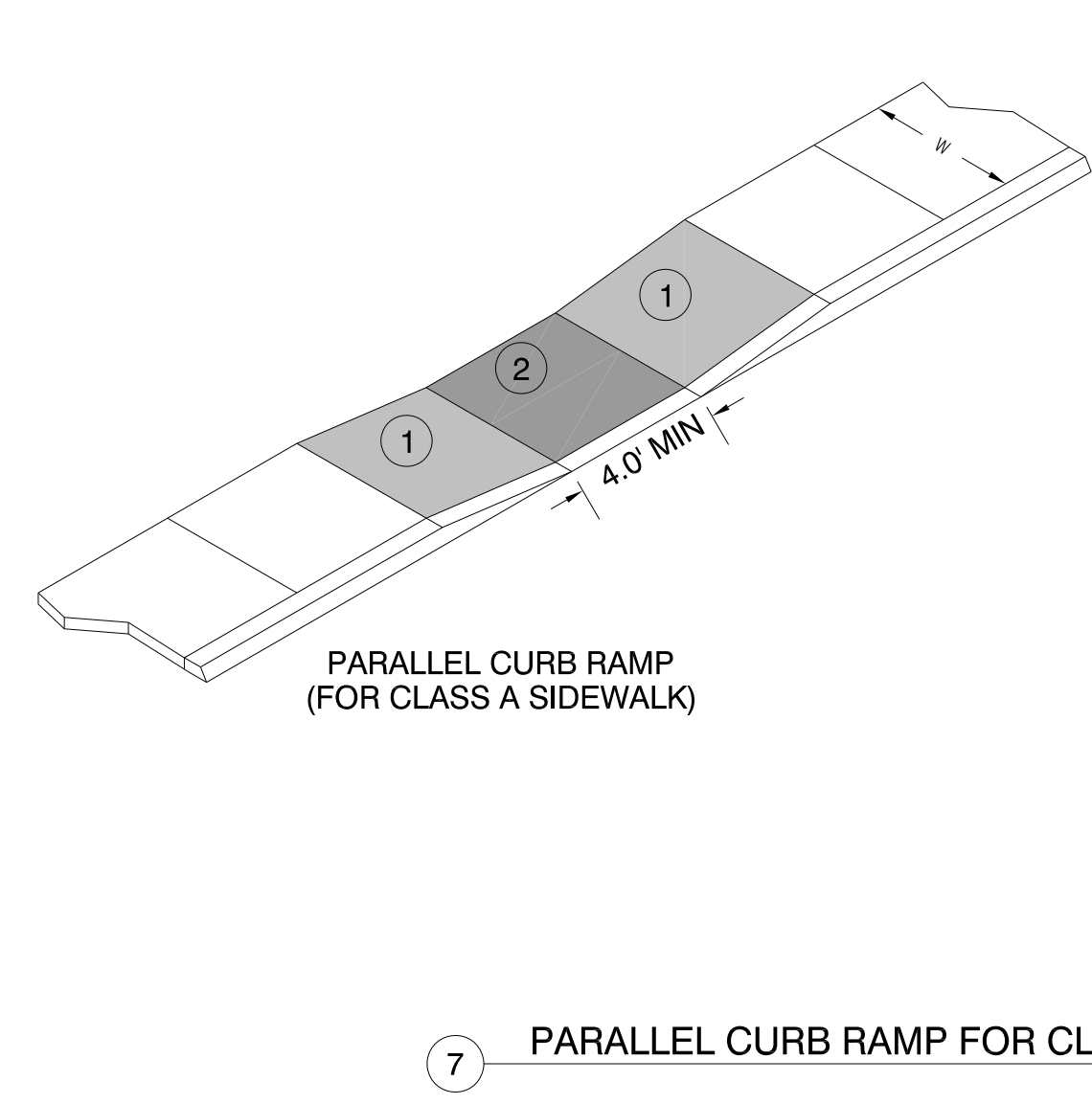
Precast (shown) or cast-in-place base:

- 1 Precast: 6-inch thick concrete with #6 welded wire mesh on 4-inch centers (WWF 4" x 4"). Center mesh vertically within base.
- 2 Cast-in-place: 8-inch thick non-reinforced concrete. 12-inch minimum riser height above all pipes.

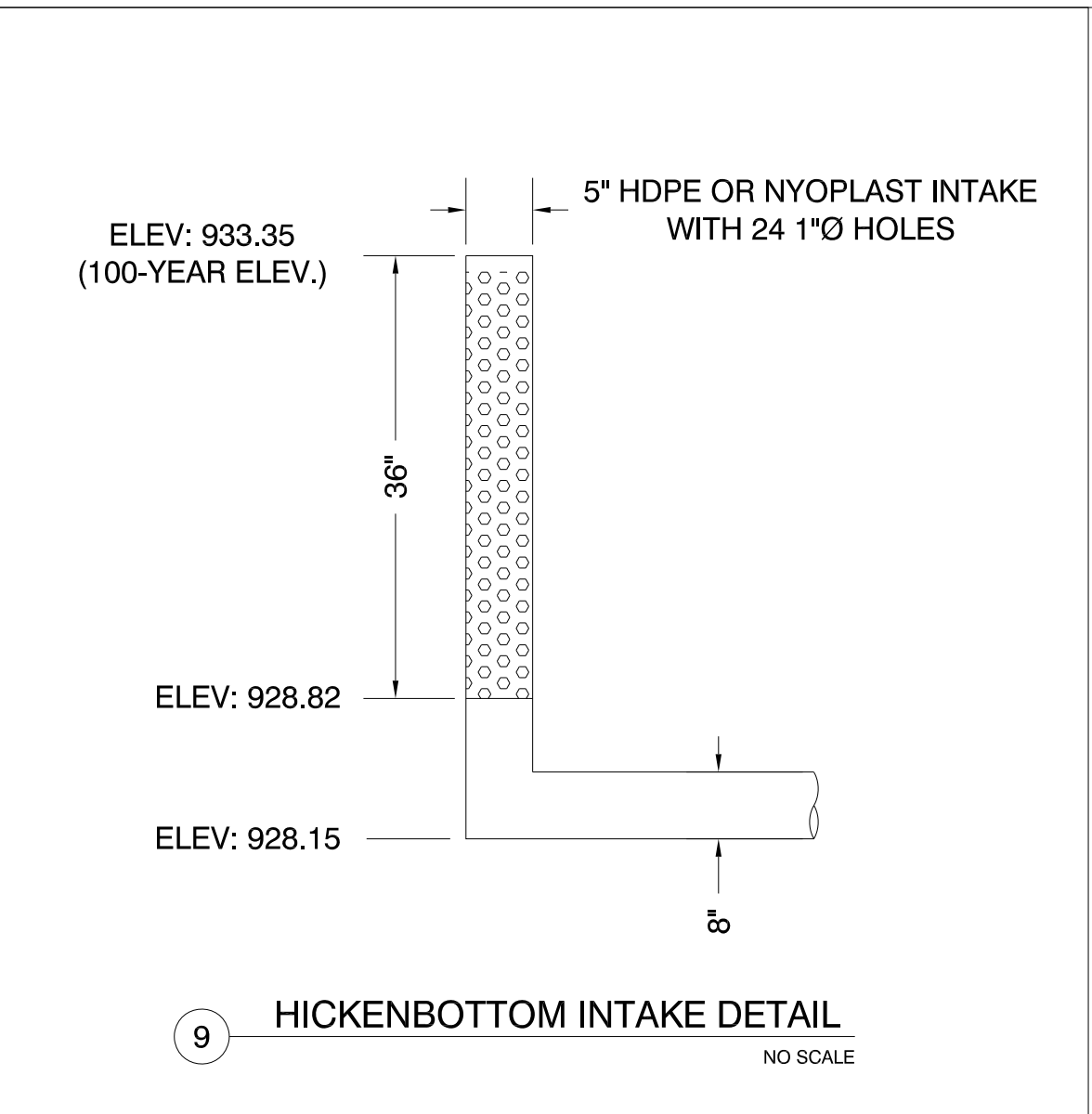
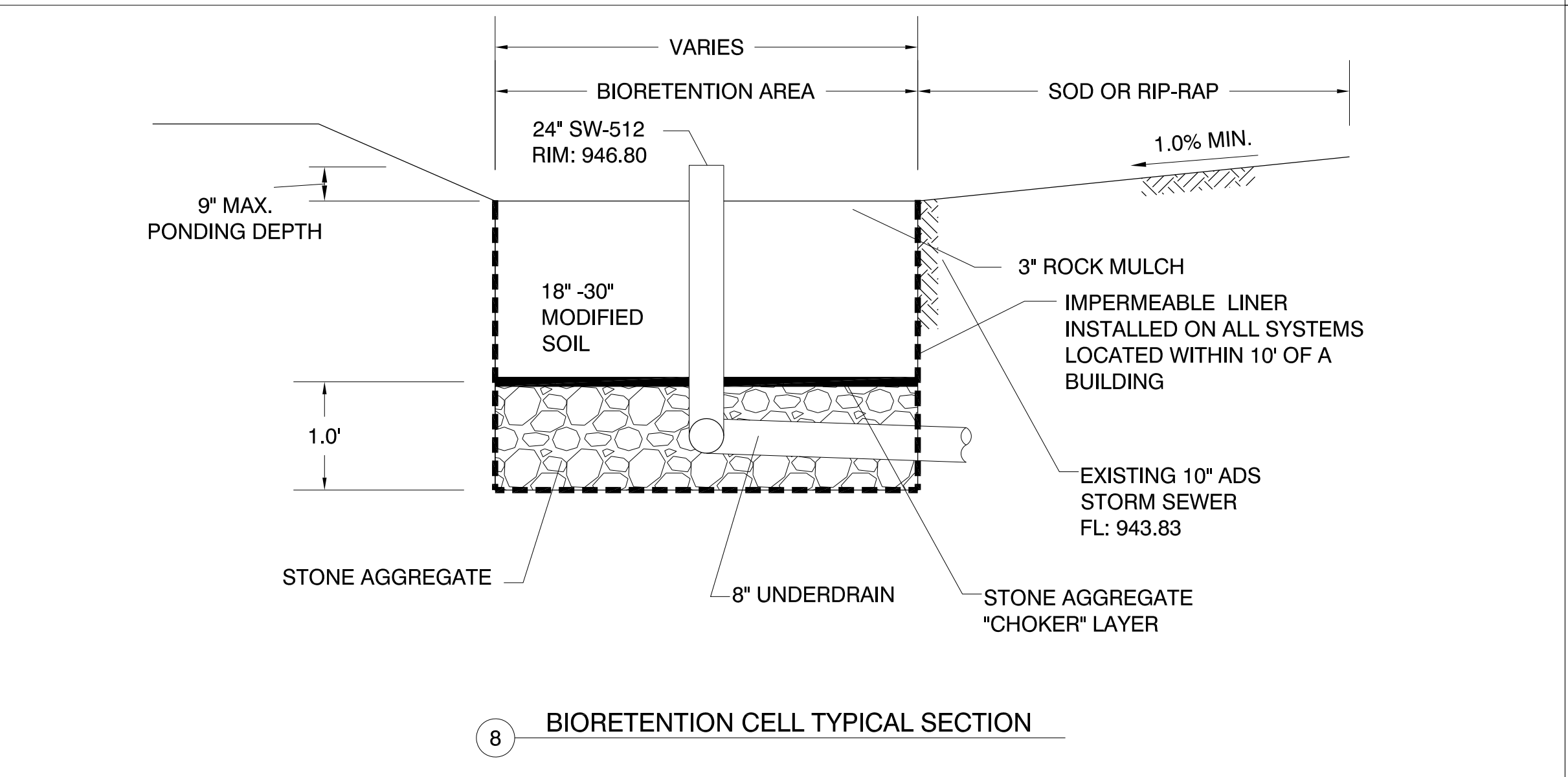
INTAKE SIZE - CASE 1	
Outlet Pipe Diameter, D1	Minimum Riser Diameter, D2
12"	18"
15"	24"
18"	24"
21"	30"
24"	30"
27"	36"

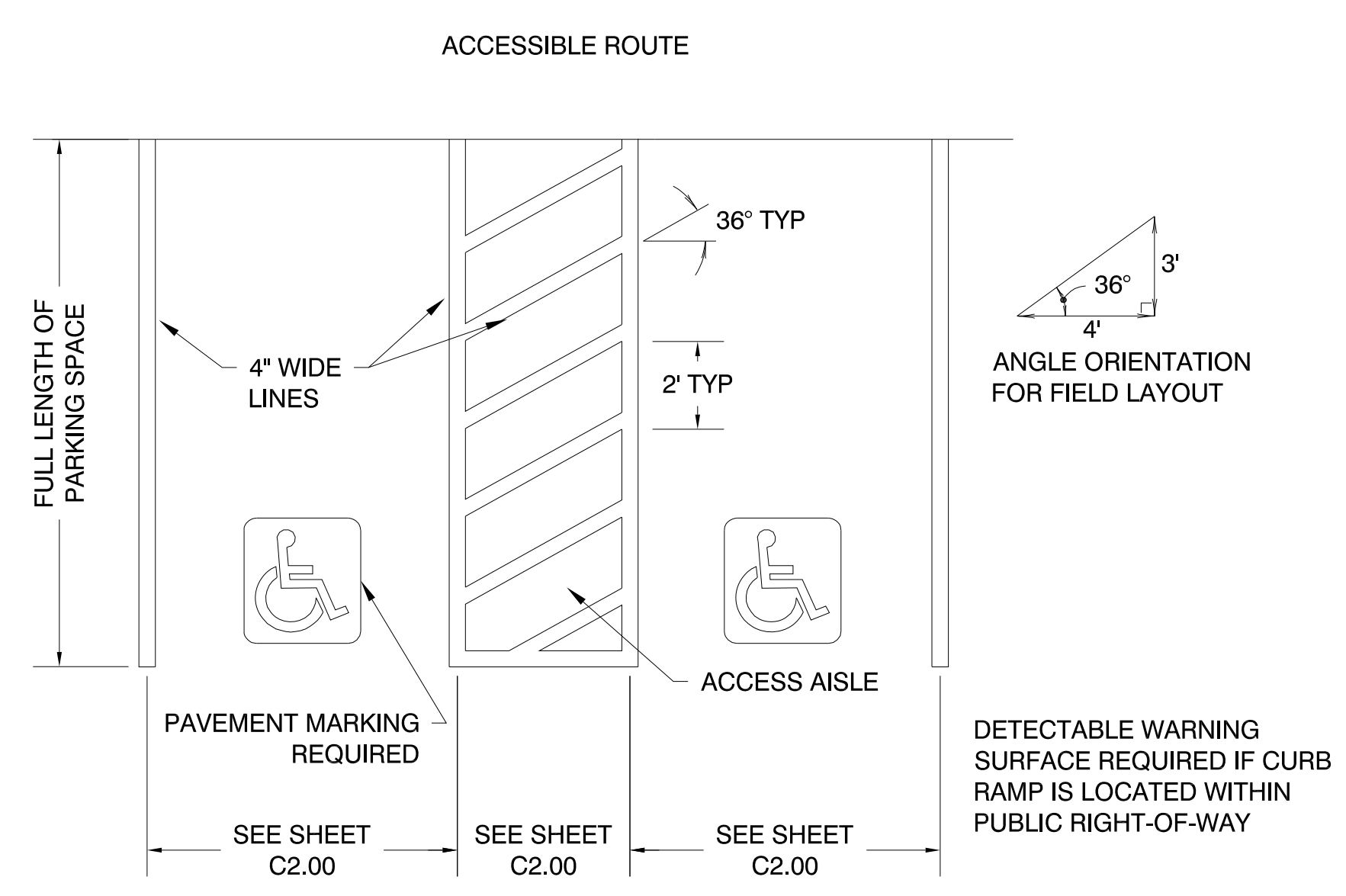
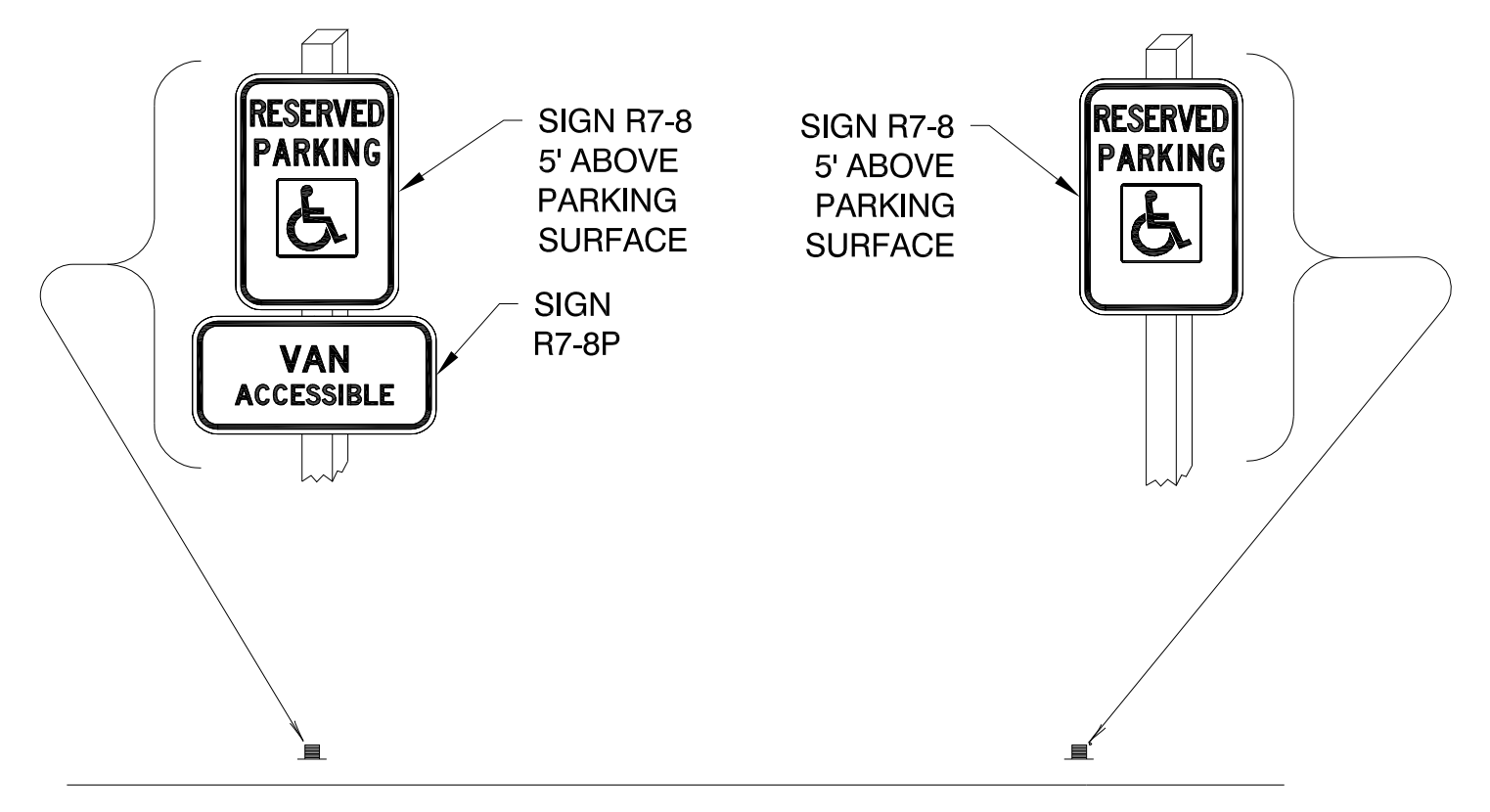


- 1 PERPENDICULAR CURB RAMP: TARGET RUNNING SLOPE OF 6.25% WITH MAXIMUM RUNNING SLOPE OF 8.3%. MATCH PEDESTRIAN STREET CROSSING CROSS SLOPE AT BACK OF CURB. AT MID-BLOCK CROSSINGS, CROSS SLOPE MAY EXCEED 2.0% TO MATCH ROADWAY GRADE.
- 2 TURNING SPACE: TARGET SLOPE OF 1.5%, WITH A MAXIMUM SLOPE PERPENDICULAR TO THE TRAVEL DIRECTIONS OF 2.0%. AT MID-BLOCK CROSSINGS, CROSS SLOPE OF LANDING MAY EXCEED 2.0% TO MATCH ROADWAY GRADE. MINIMUM 4 FEET BY 4 FEET.
- 3 FLARE (10:1 MAX.) REQUIRED IF RAMP IS CONTIGUOUS WITH SIDEWALK.

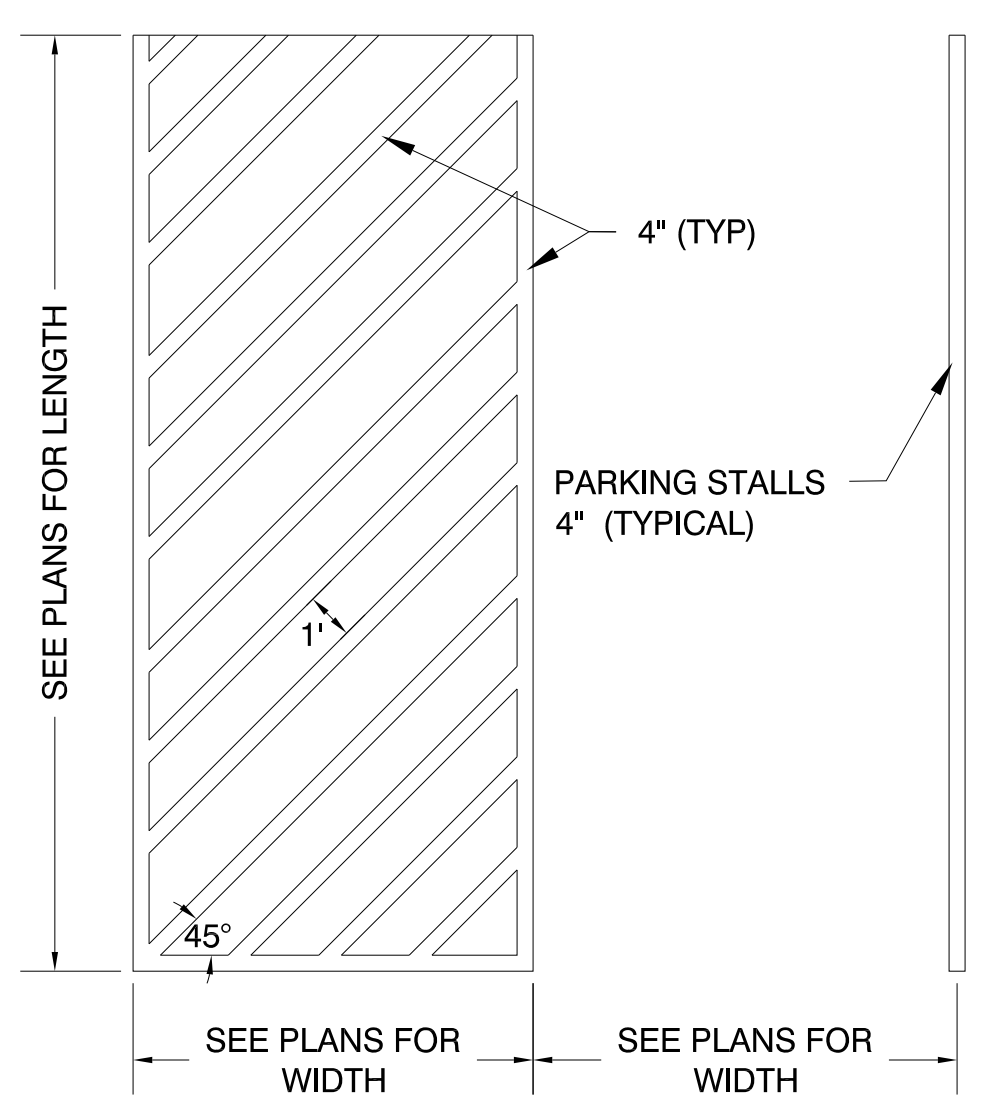


- 1 PARALLEL CURB RAMP: TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. THE LENGTH OF THE PARALLEL RAMP IS NOT REQUIRED TO EXCEED 15 FEET, REGARDLESS OF RESULTING SLOPE. DO NOT EXCEED 8.3% SLOPE FOR PARALLEL RAMPS SHORTER THAN 15 FEET.
- 2 TURNING SPACE: TARGET SLOPE OF 1.5%, WITH A MAXIMUM SLOPE PERPENDICULAR TO THE TRAVEL DIRECTIONS OF 2.0%. AT MID-BLOCK CROSSINGS, CROSS SLOPE OF LANDING MAY EXCEED 2.0% TO MATCH ROADWAY GRADE. MINIMUM 4 FEET BY 4 FEET.



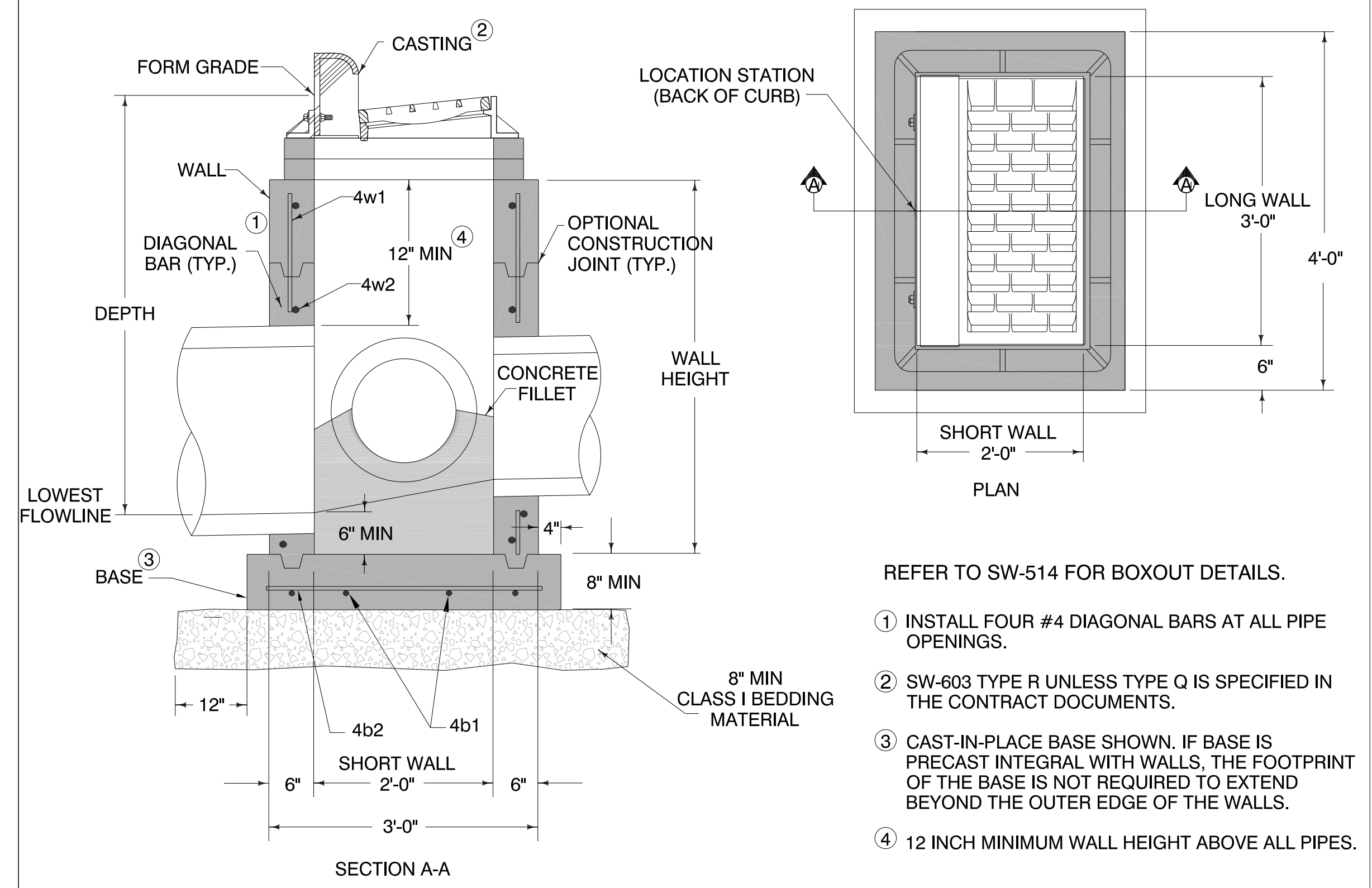


1 ACCESSIBLE PARKING SPACES



NOTES:  
1. PAVEMENT MARKINGS (STRIPING) SHALL BE MADE WITH TRAFFIC PAINT OR PERMANENT TAPE.  
2. MEASUREMENTS IN PLANS ARE TO CENTER OF MARKING WIDTH

2 MARKING DETAIL

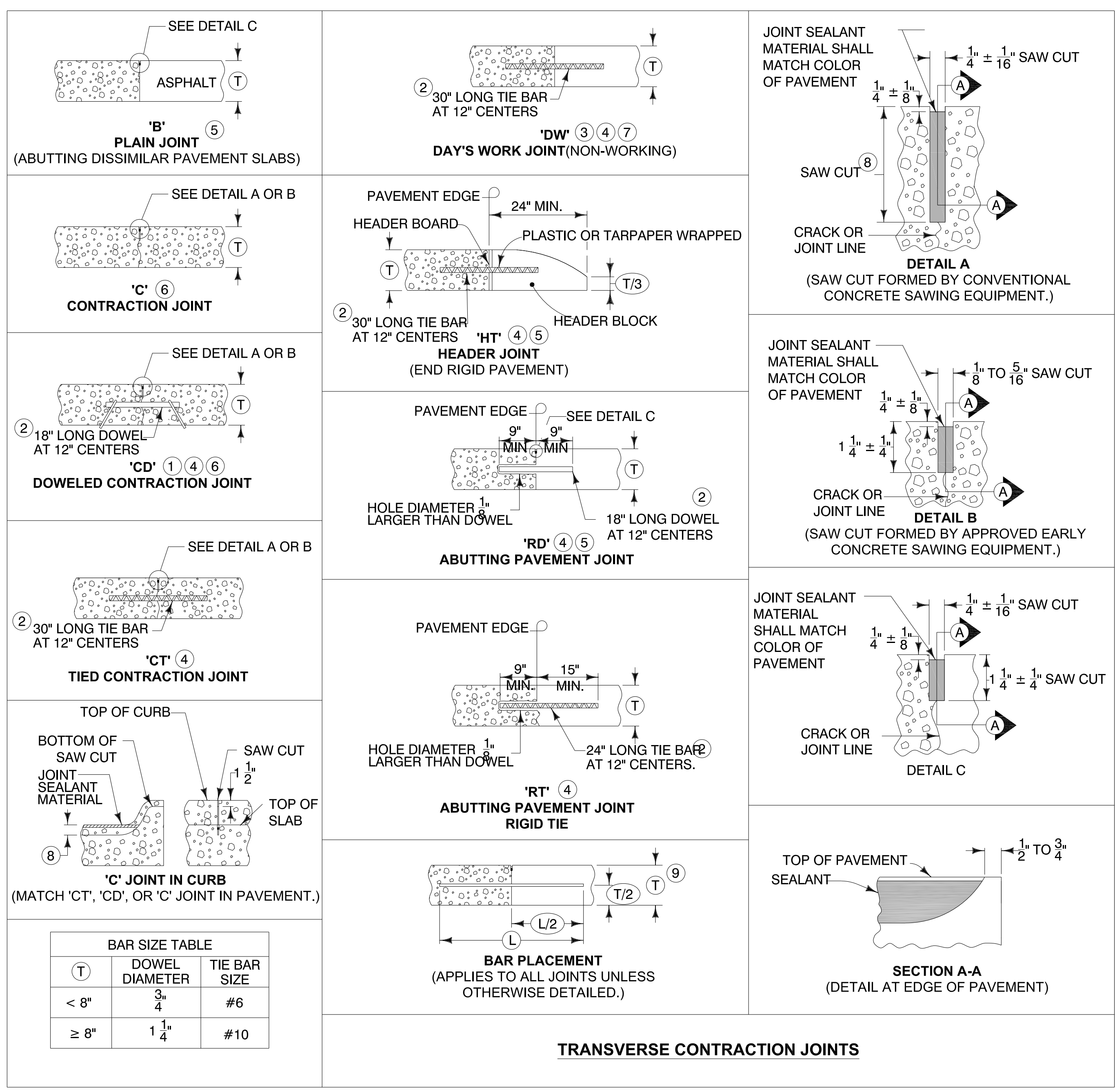


REINFORCING BAR LIST						
MARK	SIZE	LOCATION	SHAPE	LENGTH	COUNT	SPACING
4w1	4	Walls	—	Wall Height minus 4"	14	12"
4w2	4	Long Walls	—	3'-8"	Varies	12"
4w3	4	Short Walls	—	2'-8"	Varies	12"
4b1	4	Base	—	4'-2"	4	10"
4b2	4	Base	—	3'-2"	5	10"

MAXIMUM PIPE DIAMETERS		
PIPE LOCATION	Precast Structure	Cast-in-place Structure
Short Wall	15"	18"
Long Wall	24"	30"

- REFER TO SW-514 FOR BOXOUT DETAILS.
- INSTALL FOUR #4 DIAGONAL BARS AT ALL PIPE OPENINGS.
  - SW-603 TYPE R UNLESS TYPE Q IS SPECIFIED IN THE CONTRACT DOCUMENTS.
  - CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
  - 12 INCH MINIMUM WALL HEIGHT ABOVE ALL PIPES.

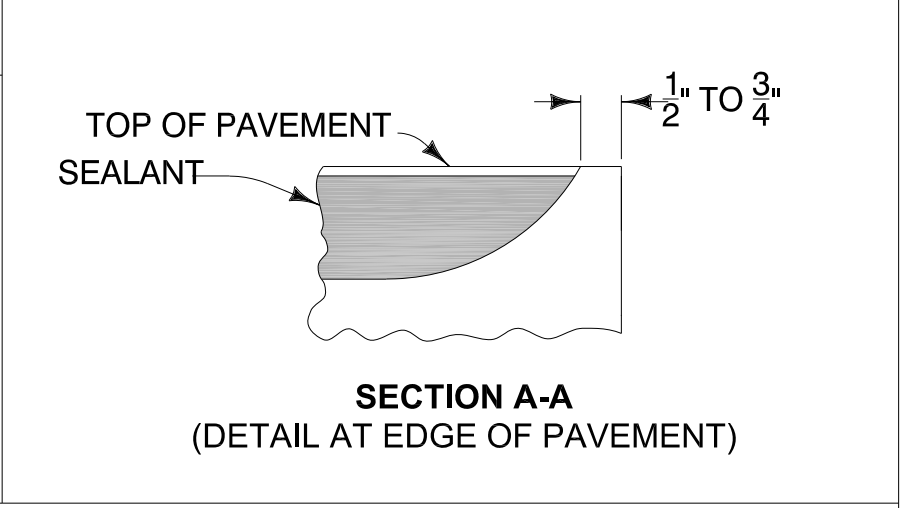
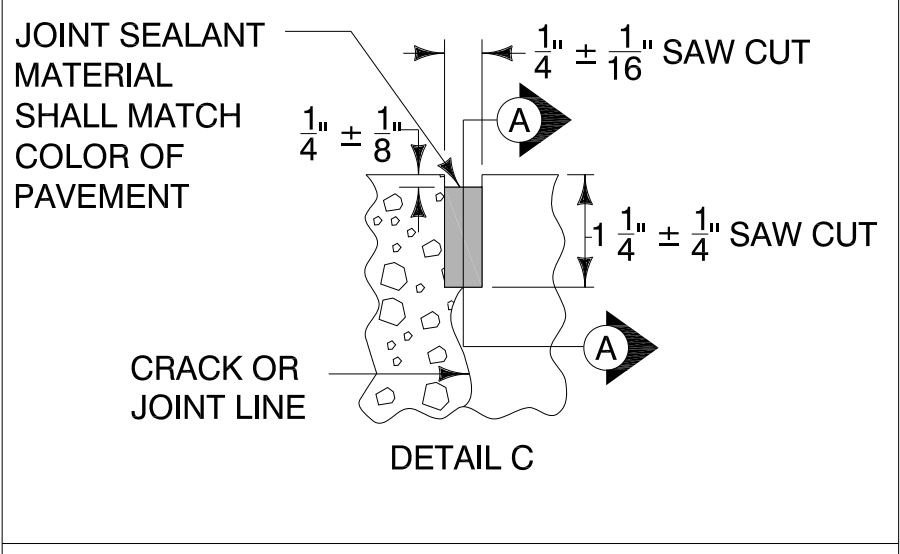
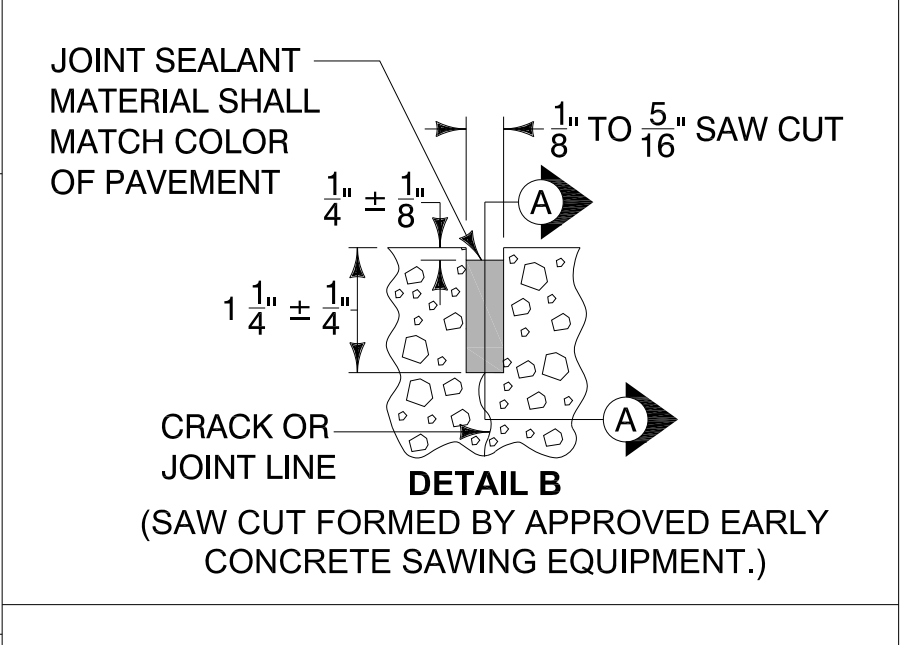
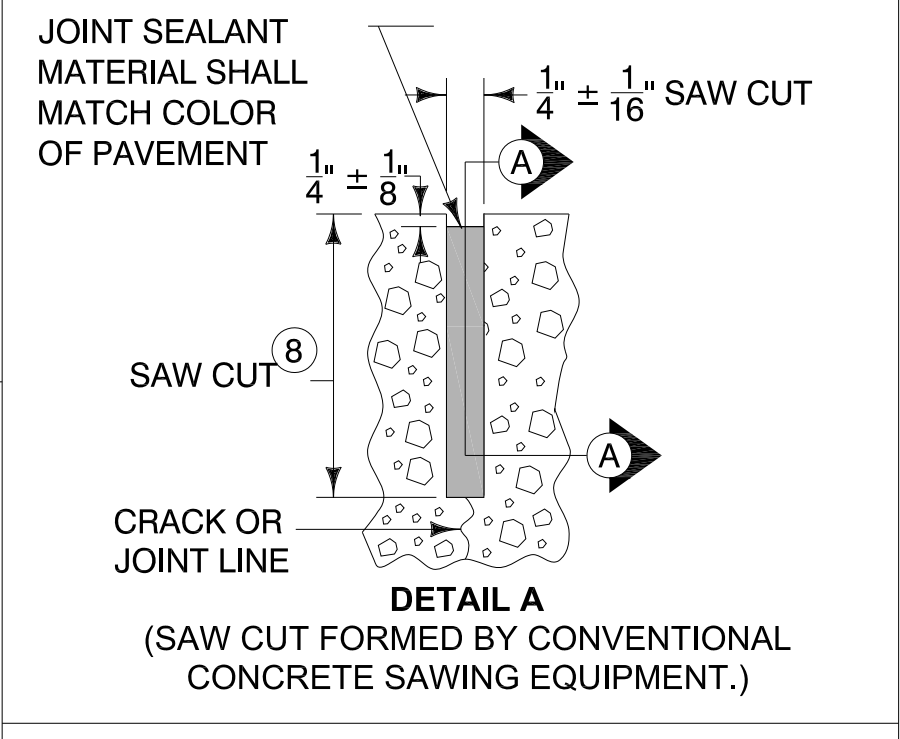
3 SINGLE GRATE INTAKE SW-501

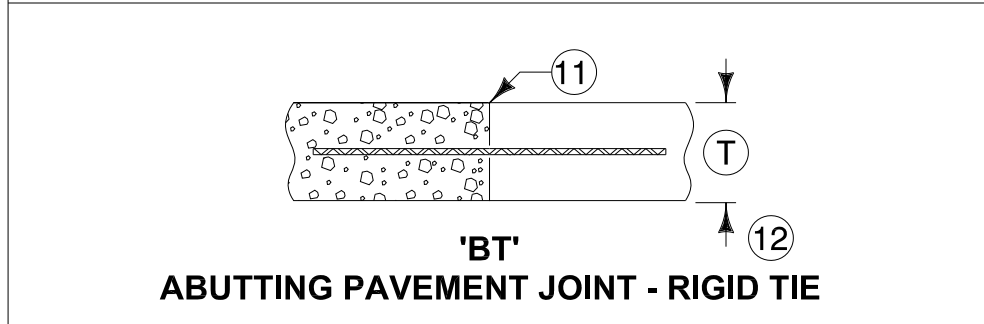
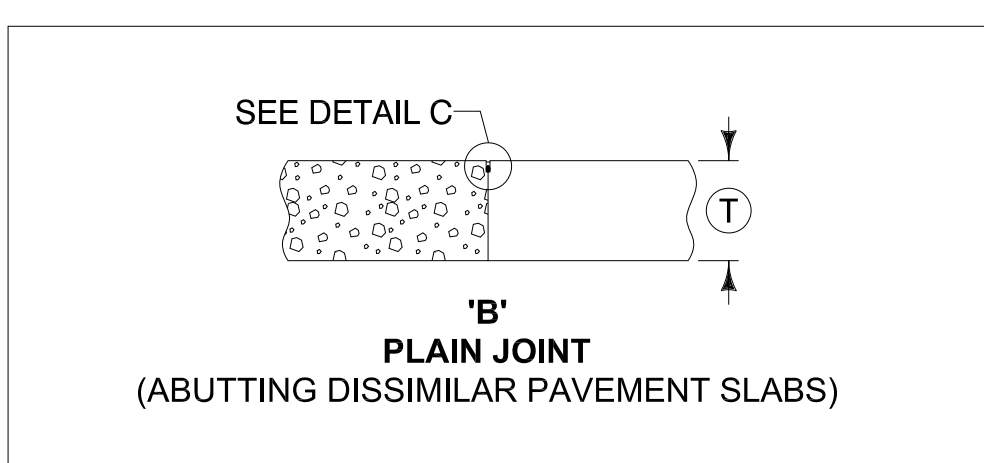


BAR SIZE TABLE		
T	DOWEL DIAMETER	TIE BAR SIZE
< 8"	3/4"	#6
≥ 8"	1 1/4"	#10

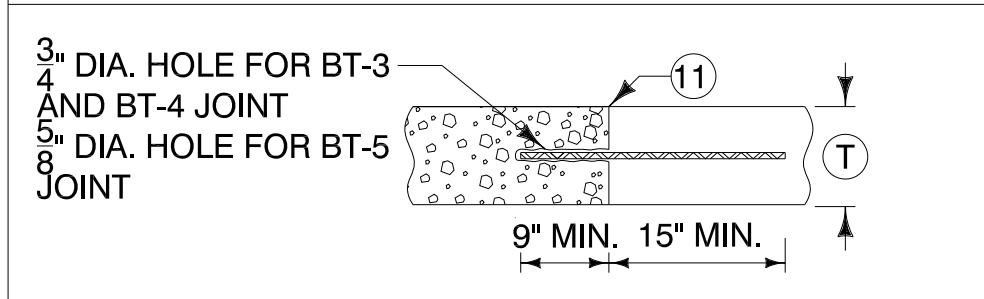
**NOTES:**

- PAVEMENT JOINT TYPES ARE DEPENDENT UPON POUR SEQUENCE.
- JOINTS SHALL BE A MINIMUM OF 2' IN LENGTH AND HAVE AN ANGLE OF 70° OR MORE.
- MAXIMUM JOINT SPACING IS AS FOLLOWS:  
TRANSVERSE = 15'  
LONGITUDINAL = 12.5'
- SEE DOWEL ASSEMBLIES FOR FABRICATION DETAILS.
- SEE BAR SIZE TABLE.
- LOCATE 'DW' JOINT AT A MID-PANEL LOCATION BETWEEN FUTURE 'C' OR 'CD' JOINTS. PLACE NO CLOSER THAN 5 FEET TO A 'C' OR 'CD' JOINT.
- PLACE BARS WITHIN THE LIMITS SHOWN UNDER DOWEL ASSEMBLIES.
- EDGE WITH 1/4 INCH TOOL FOR LENGTH OF JOINT INDICATED IF FORMED; EDGING NOT REQUIRED WHEN CUT WITH DIAMOND BLADE SAW. REMOVE HEADER BLOCK AND BOARD WHEN SECOND SLAB IS PLACED.
- UNLESS OTHERWISE SPECIFIED, USE 'CD' TRANSVERSE CONTRACTION JOINTS IN MAINLINE PAVEMENT WHEN T IS GREATER OR EQUAL TO 8 INCHES. USE 'C' JOINTS WHEN T IS LESS THAN 8 INCHES.
- 'RT' JOINT MAY BE USED IN LIEU OF 'DW' JOINT AT THE END OF THE DAYS WORK. REMOVE ANY PAVEMENT DAMAGED DUE TO THE DRILLING AT NO ADDITIONAL COST TO THE CONTRACTING AUTHORITY.
- SAW 'CD' JOINT TO A DEPTH OF T/3 ± 1/4"; SAW 'C' JOINT TO A DEPTH OF T/4 ± 1/4".
- WHEN TYING INTO OLD PAVEMENT, T REPRESENTS THE DEPTH OF SOUND PCC.
- BAR SUPPORTS MAY BE NECESSARY FOR FIXED FORM PAVING TO ENSURE THE BAR REMAINS IN A HORIZONTAL POSITION IN THE PLASTIC CONCRETE.
- SAWING OR SEALING OF JOINT NOT REQUIRED.
- THE FOLLOWING JOINTS ARE INTERCHANGEABLE, SUBJECT TO THE POURING SEQUENCE:  
'BT-1', 'L-1', AND 'KT-1'  
'KT-2' AND 'L-2'  
'KT-3' AND 'L-3'
- SEALANT OR CLEANING NOT REQUIRED.
- EDGE WITH 1/4 INCH TOOL FOR LENGTH OF JOINT INDICATED IF FORMED; EDGING NOT REQUIRED WHEN CUT WITH DIAMOND BLADE SAW.
- SEE DOWEL ASSEMBLIES FOR FABRICATION DETAILS AND PLACEMENT LIMITS. COAT THE FREE END OF DOWEL BAR TO PREVENT BOND WITH PAVEMENT. AT INTAKE LOCATIONS, DOWEL BARS MAY BE CAST-IN-PLACE.
- PREDRILL OR PREFORM HOLES IN JOINT MATERIAL FOR APPROPRIATE DOWEL SIZE.
- COMPACT TIRE BUFFINGS BY SPADING WITH A SQUARE-NOSE SHOVEL.



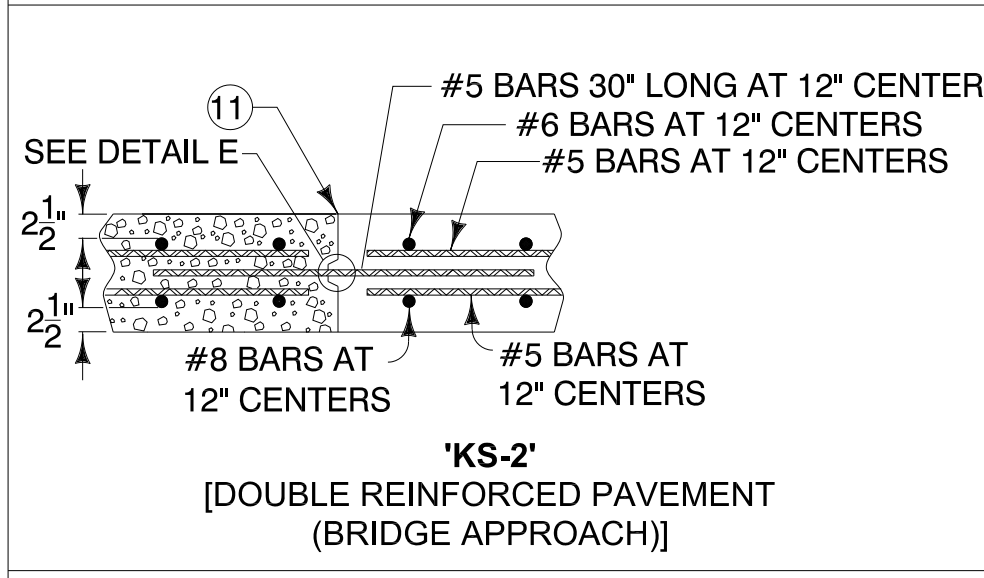
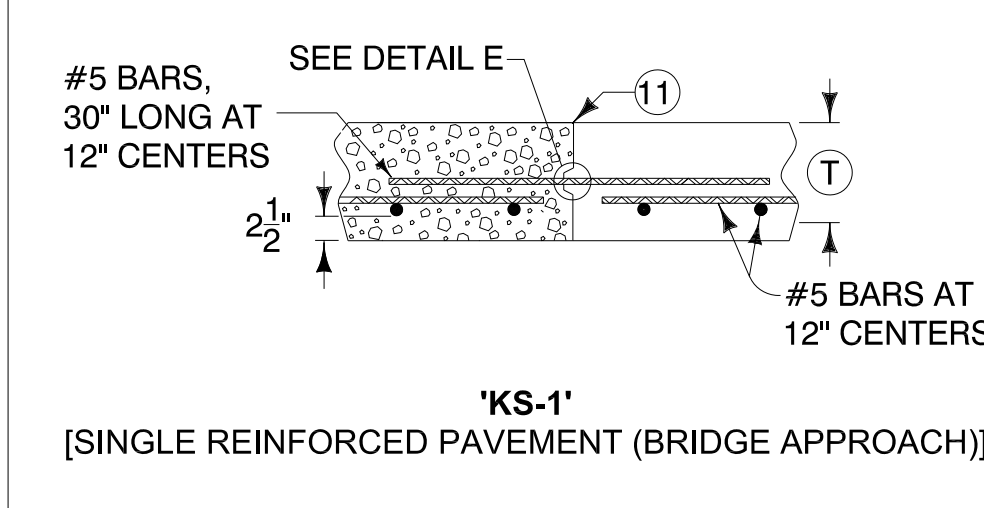
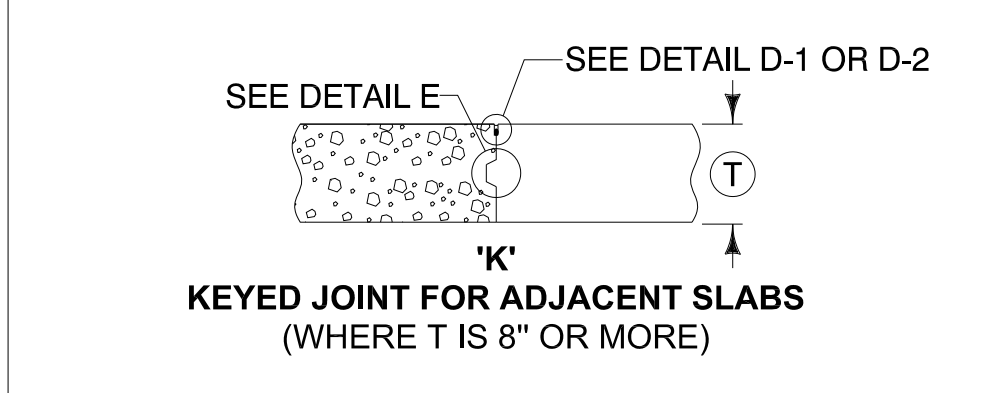


T	JOINT	BAR	BAR LENGTH AND SPACING
< 8"	'BT-1'	#4	36" LONG AT 30" CENTERS
≥ 8"	'BT-2'	#5	36" LONG AT 30" CENTERS

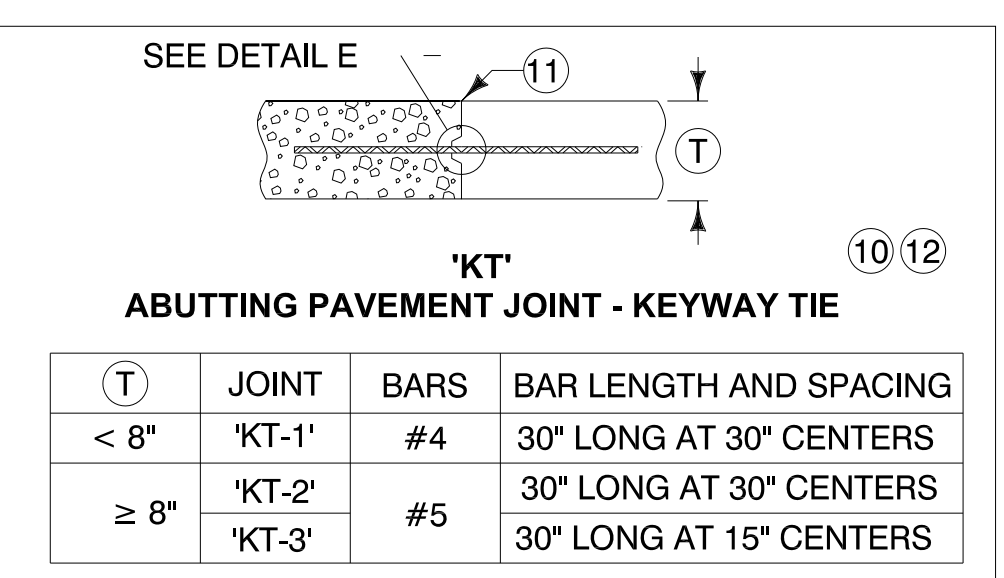


**ABUTTING PAVEMENT JOINT - RIGID TIE (DRILLED)**

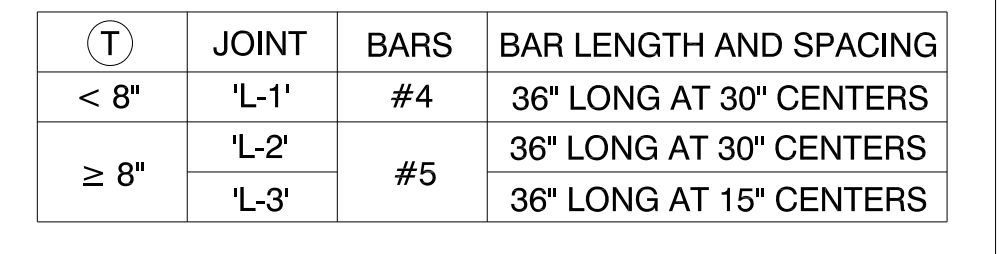
T	JOINT	BAR	BAR LENGTH AND SPACING
< 8"	'BT-5'	#4	24" LONG AT 30" CENTERS
≥ 8"	'BT-3'	#5	24" LONG AT 30" CENTERS
	'BT-4'	#5	24" LONG AT 15" CENTERS



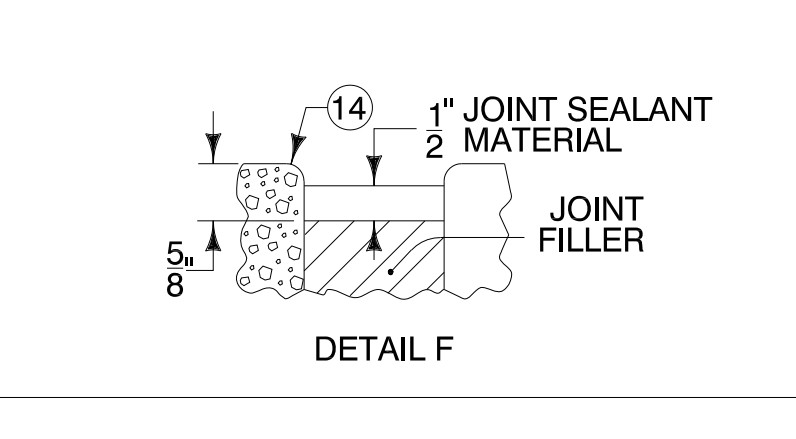
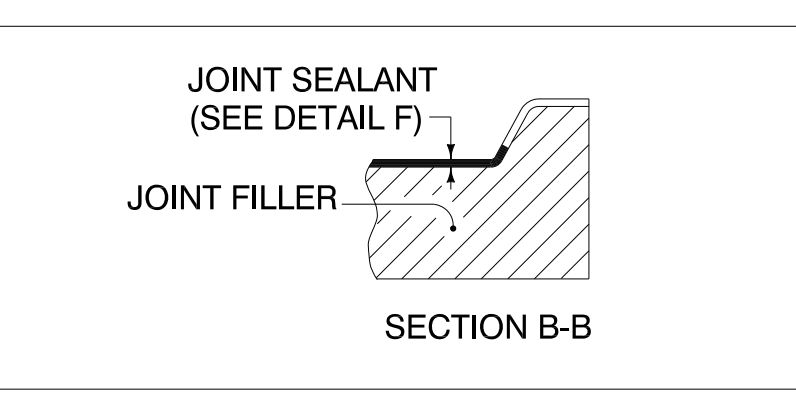
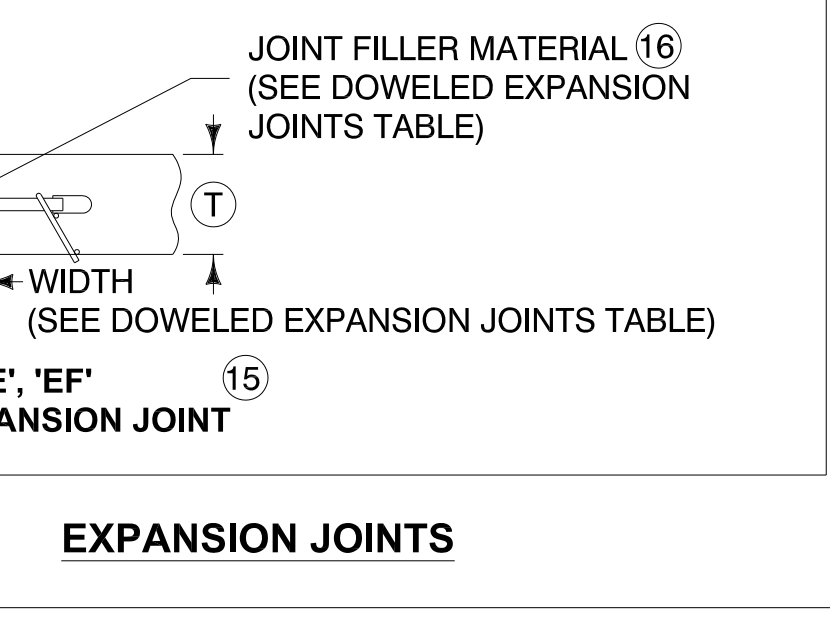
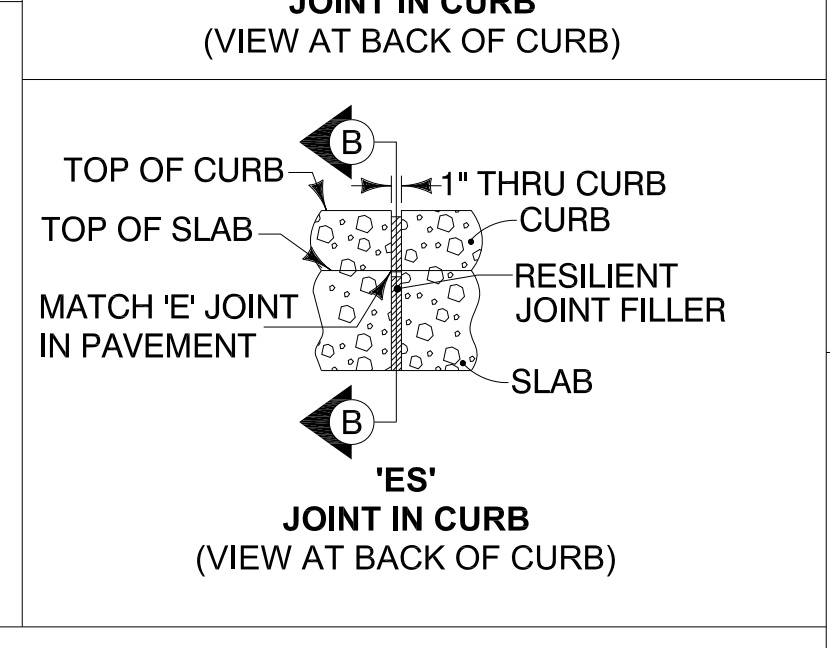
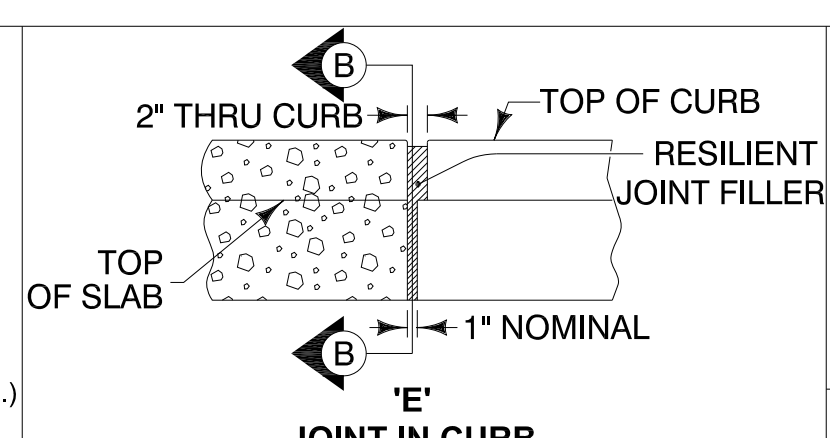
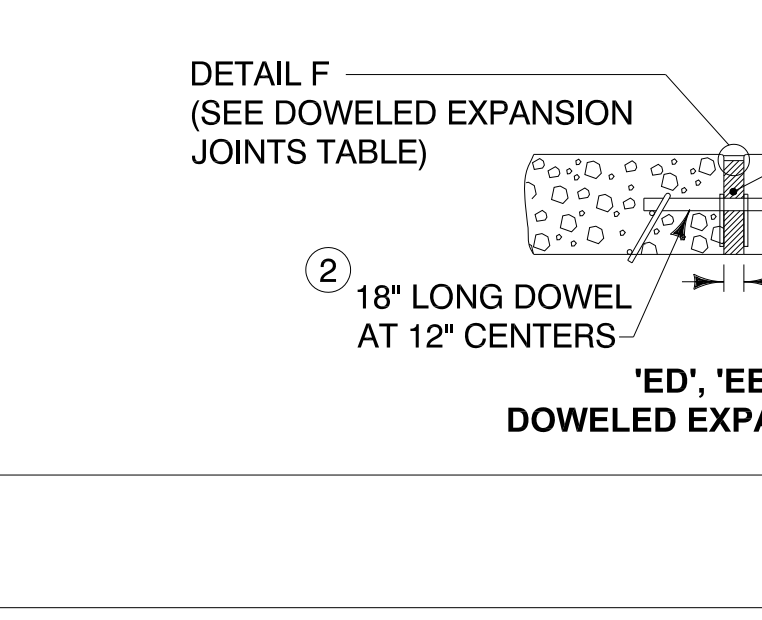
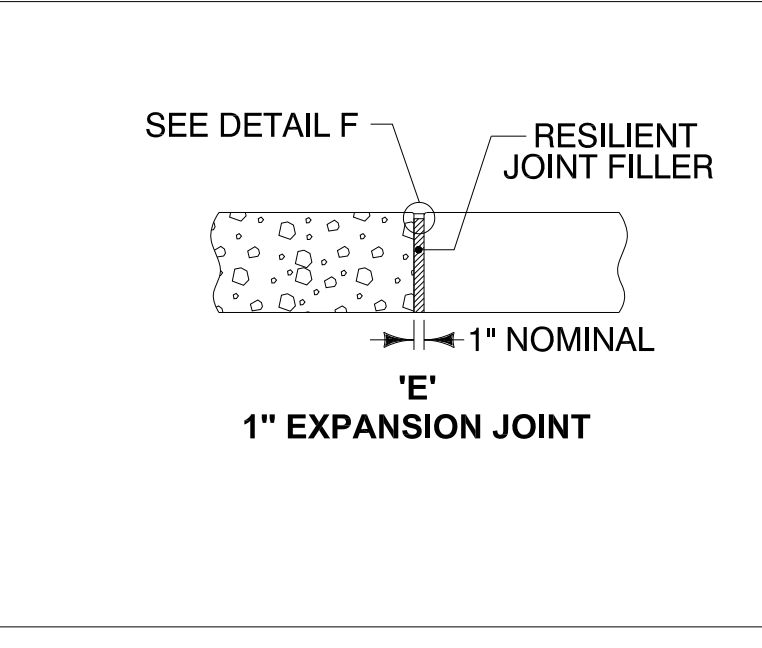
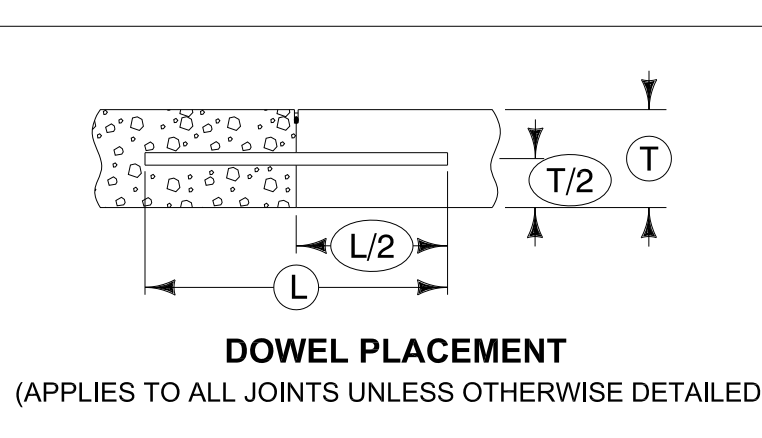
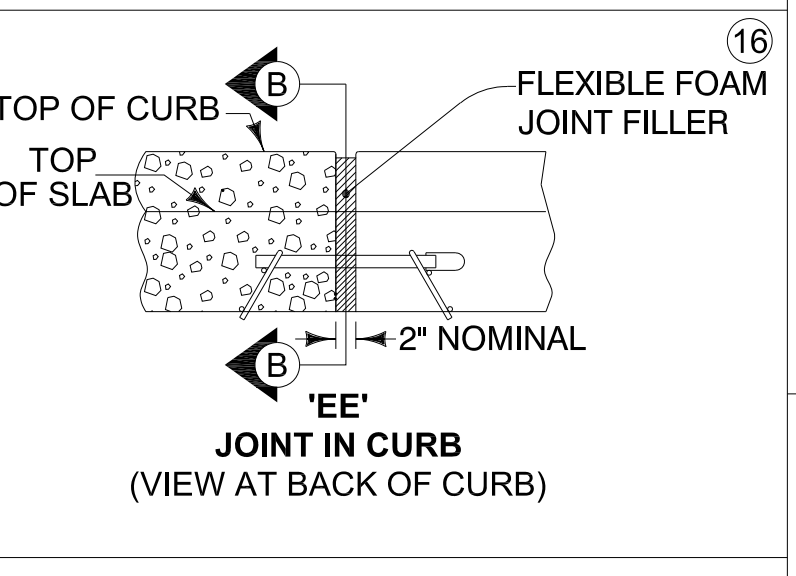
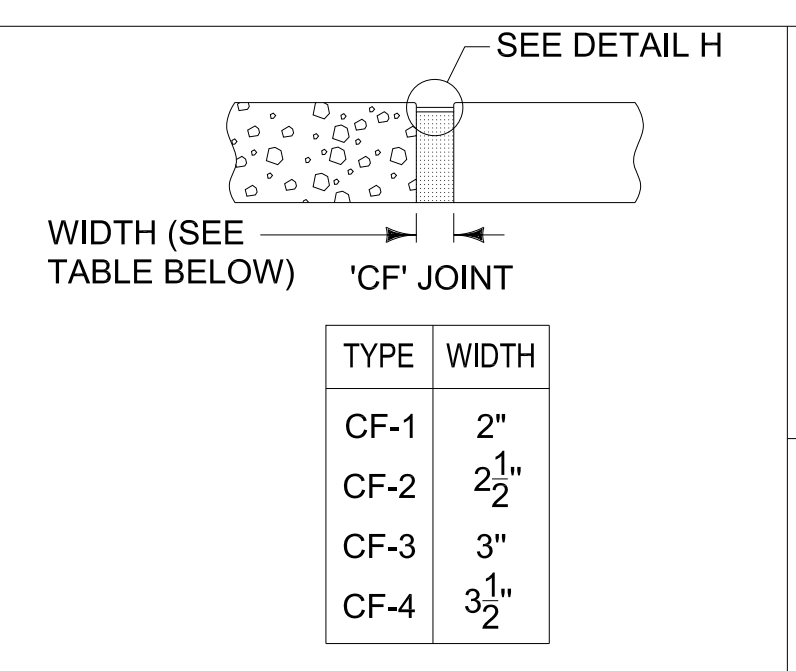
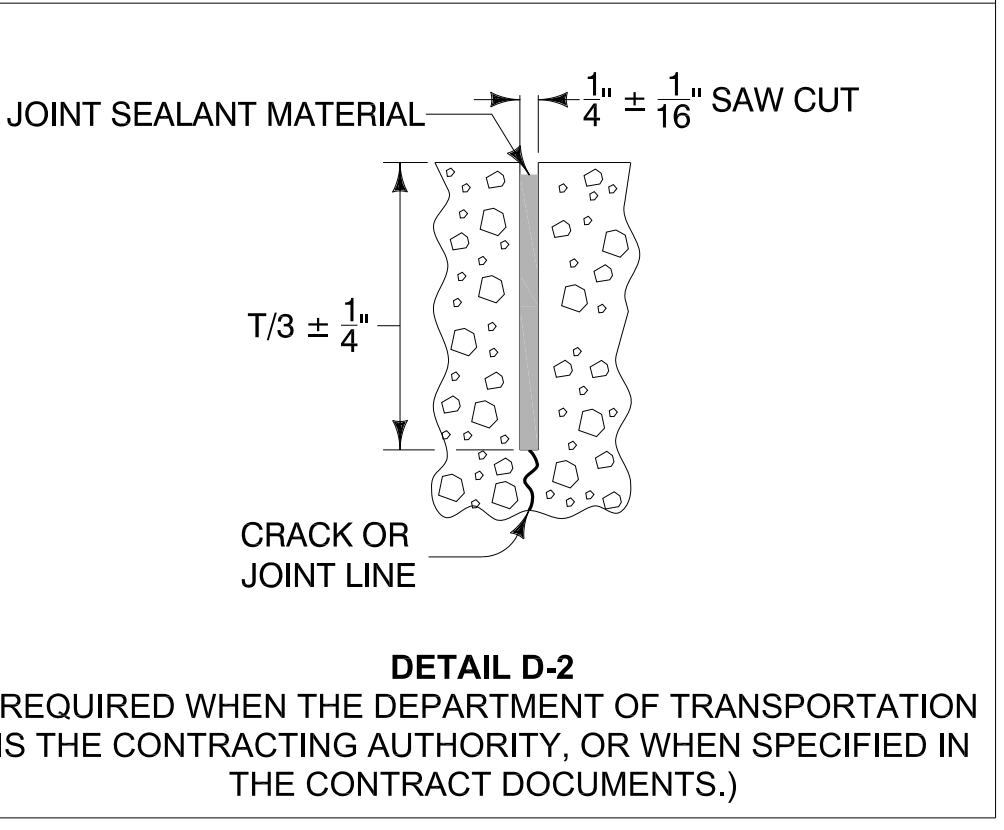
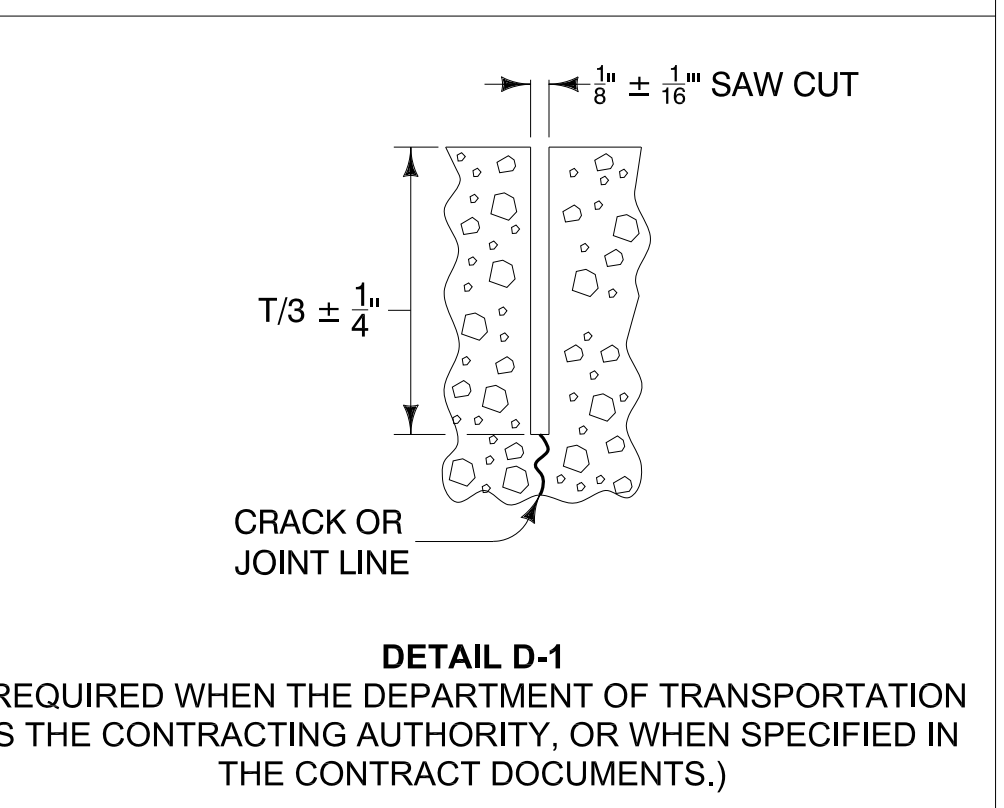
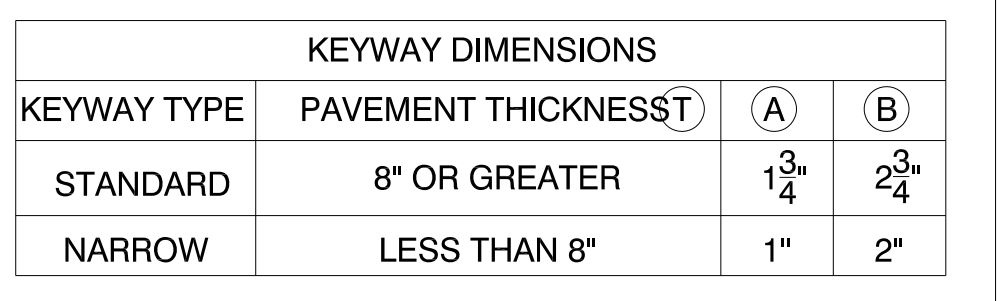
**LONGITUDINAL CONTRACTION JOINTS**



T	JOINT	BAR	BAR LENGTH AND SPACING
< 8"	'KT-1'	#4	30" LONG AT 30" CENTERS
	'KT-2'	#5	30" LONG AT 30" CENTERS
≥ 8"	'KT-3'	#5	30" LONG AT 15" CENTERS



T	JOINT	BAR	BAR LENGTH AND SPACING
< 8"	'L-1'	#4	36" LONG AT 30" CENTERS
	'L-2'	#5	36" LONG AT 30" CENTERS
≥ 8"	'L-3'	#5	36" LONG AT 15" CENTERS

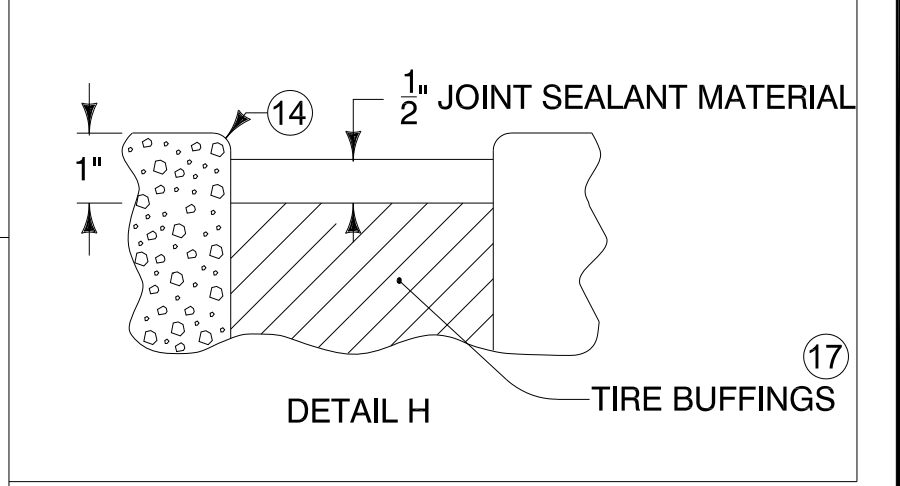
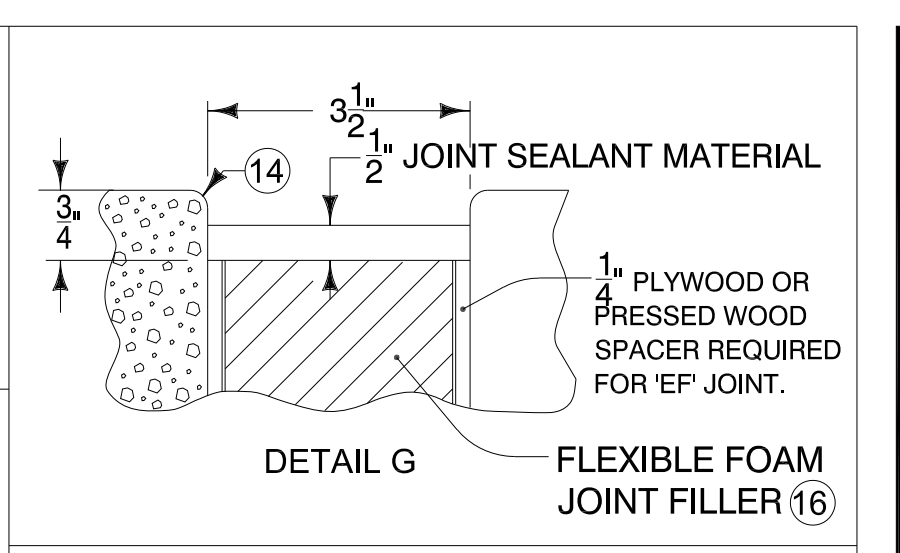


**DOWELED EXPANSION JOINTS**

TYPE	WIDTH	FILLER MATERIAL 16
ED	1"	RESILIENT (DETAIL F)
EE	2"	FLEXIBLE FOAM (DETAIL F)
EF	3 1/2"	FLEXIBLE FOAM (DETAIL G)

**BAR SIZE TABLE**

T	< 8"	≥ 8" but < 10"	≥ 10"
DOWEL DIAMETER	3/4"	1 1/4"	1 1/2"



Joint	Type			Method of Load Transfer			Thermal movement				Comments	
	Transverse	Longitudinal	Expansion	Aggregate Interlock	Key	Tie Bar	Dowel Bar	Doweled to allow movement	Tied to prevent movement	Expansion joint allows movement		Lack of reinforcing allows movement
B	X	X									X	Used between dissimilar materials or when other joints are not suitable.
C	X			X							X	Transverse joint used when T < 8 in. May also be used on non-primary routes if AADIT < 200 vpd.
CD	X			X			X	X				Transverse joint used when T ≥ 8 in. Use C joint when joint length is 2 ft.
CT	X			X		X			X			Speciality tied contraction joint.
DW	X					X			X			Used by contractor as a stopping point.
HT	X					X			X			Used at the end of rigid pavement prior to placement of second slab.
RD	X						X	X				Joint between new and existing pavements, dowels are used.
RT	X					X			X			Joint between new and existing pavements, tie bars are used.
BT-1		X							X			Longitudinal joint used when T < 8 in, interchangeable with L-1 depending on paving sequence.
BT-2		X							X			Used when L-2 and the KT-2 are not possible, T ≥ 8 in.
BT-3		X							X			Joint used between new and existing pavements. Tie bars are used when T ≥ 8 in.
BT-4		X							X			Joint used between new and existing pavements. Tie bars are used when T ≥ 8 in.
BT-5		X							X			Joint used between new and existing pavements. Tie bars are used when T < 8 in.
K	X					X					X	T > 8 in. minimal usage.
KS	X					X			X			Used in reinforced pavements.
KT-1	X					X			X			Longitudinal joint used when T < 8 in, interchangeable with L-1 depending on paving sequence.
KT-2	X					X			X			Longitudinal joint used when T < 8 in, interchangeable with L-2 depending on paving sequence.
KT-3	X					X			X			Longitudinal joint used when T < 8 in, interchangeable with L-3 depending on paving sequence.
L-1		X				X			X			Longitudinal Joint used when T < 8 in, interchangeable with BT-1.
L-2		X				X			X			Longitudinal joint used when T ≥ 8 in, interchangeable with KT-2 depending on paving sequence.
L-3		X				X			X			Longitudinal joint used with pavement of large width, interchangeable with KT-3 depending on paving sequence.
CF	X		X							X		4 in expansion joint.
E	X	X	X								X	1 in expansion joint.
E	X		X				X	X		X		1 in doweled expansion joint.
EE	X		X				X	X		X		2 in doweled expansion joint.
EF	X		X				X	X		X		4 in doweled expansion joint
ES			X							X		Used in curb to match expansion joint in pavement.



**LANDSCAPE CONSTRUCTION NOTES:**

- EXISTING 3" CAL. TREE TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING 4" CAL. TREE TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING 2.5" CAL. TREE TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING SHRUBS TO REMAIN. PROTECT DURING CONSTRUCTION.
- INSTALL TYPE 1 LAWN SEED.
- 3+ BERM

**OPEN SPACE REQUIREMENTS**

DESCRIPTION	REQUIRED	PROVIDED
TOTAL DEVELOPED SITE AREA		638,154 S.F. (14.65 ACRES)
TOTAL DEVELOPED AREA MINUS LANDSCAPE SETBACKS		573,138 S.F. (13.15 ACRES)
PERCENTAGE OF OPEN SPACE	90%	90%
PAVED AREA	57,213 (10%)	57,213 S.F. (1.30 AC)
BUILDING AREA		33,650 S.F. (0.77 AC)

**LANDSCAPING POINTS**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
TOTAL TREE PLANTING	1,312 X 0.75'	884	2,280
TOTAL POINTS	575,155 X 0.02'	11,443	8,960
		12,537	8,960

**PARKING LOT LANDSCAPING**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
PARKING AREAS	187 / 115 STALLS; 13 TREES	6	22

**LANDSCAPE NOTES:**

- PLANT QUANTITIES REF. FOR INFORMATION ONLY; DRAWING SHALL PREVAIL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BIDDING ACCORDINGLY.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD BARK MULCH AROUND ALL TREES OUTSIDE OF PLANTING BEDS TO A DEPTH OF 2". WALNUT PRODUCTS ARE PROHIBITED.
- KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60-2004, OR MOST RECENT EDITION.
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE ENGINEER.
- THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND INITIAL ACCEPTANCE OF THE PROJECT.
- SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE ENGINEER FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES. WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT SCHEDULE. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON DRAWINGS. STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.
- ALL DISTURBED AREAS NOT OTHERWISE COVERED BY BUILDING, PAVEMENT, AND LANDSCAPE BEDS SHALL BE SODED WITH KENTUCKY BLUE TURF GRASS AS APPROVED BY THE OWNER.

NO.	DESCRIPTION	DATE	NO.

OWNER SIGN-OFF: \_\_\_\_\_ DATE: \_\_\_\_\_ NAME: \_\_\_\_\_

PROJECT NO: 21053

DATE: Aug 16, 2021  
 SHEET SET: CONSTRUCTION DOCUMENTS

SHEET NAME: LANDSCAPE PLAN

SHEET: C4.00

SCALE: 1" = 30'

**RESTORE PLANTING PLAN FROM ORIGINAL 2006**

KEY	BOTANICAL NAME	COMMON NAME	POINTS	QTY.	SIZE
Trees					
MP	Malus "Prairiefire"	Prairiefire Crabapple	540	6	6'-8'
BN	Betula Nigra 'Heritage'	Heritage Birch	100	1	8'-10'
MR	Malus Red Jewel"	Red Jewel Crabtree	240	3	6'-8'
CO	Callis occidentalis "Prairie Pride"	Prairie Pride Hockberry	1120	14	2.5" Cal.
GT	Gleditsia triacanthos "Skyline"	Skyline Honeylocust	360	4	3" Cal.
PG	Picea glauca	Black Hills Spruce	240	3	6'-8'
TR	Tilia x 'Redmond'	Redmond Linden	450	5	3" Cal.
UM	Ulmus Morton	Accolade Elm	500	5	4" Cal.

KEY	BOTANICAL NAME	COMMON NAME	POINTS	QTY.	SIZE
Shrubs					
RA	Rhus aromatica	Grow-Low Sumac	260	26	5 Gal.

EXISTING POINTS: 3,810

**PROPOSED PLANTING PLAN**

KEY	BOTANICAL NAME	COMMON NAME	POINTS	QTY.	SIZE
Overstory Deciduous Trees					
AS	Acer saccharum	Sugar Maple	540	6	3" Cal.
QA	Quercus alba	White Oak	1300	13	4" Cal.
GT	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	810	9	3" Cal.
PT	Populus tremuloides	Quaking Aspen	1040	13	2.5" Cal.
BT	Betula nigra	River Birch, multi-stemmed	360	4	8'
PM	Pseudotsuga menziesii	Douglas Fir	1620	18	8'
PG	Picea glauca	Black Hills Spruce	320	4	6'
PS	Pinus strobus	White Pine	1600	17	10'

KEY	BOTANICAL NAME	COMMON NAME	POINTS	QTY.	SIZE
Shrubs					
RA	Rhus aromatica	Grow-Low Sumac	590	62	5 gallon (12" tall)
WP	Berberis gladydhydrosis "William Penn"	William Penn Barberry	330	33	5 gallon (12" tall)
VO	Viburnum opulus 'Compactum'	Compact European Cranberry Bush	450	45	5 gallon (12" tall)

PROPOSED POINTS: 8,960

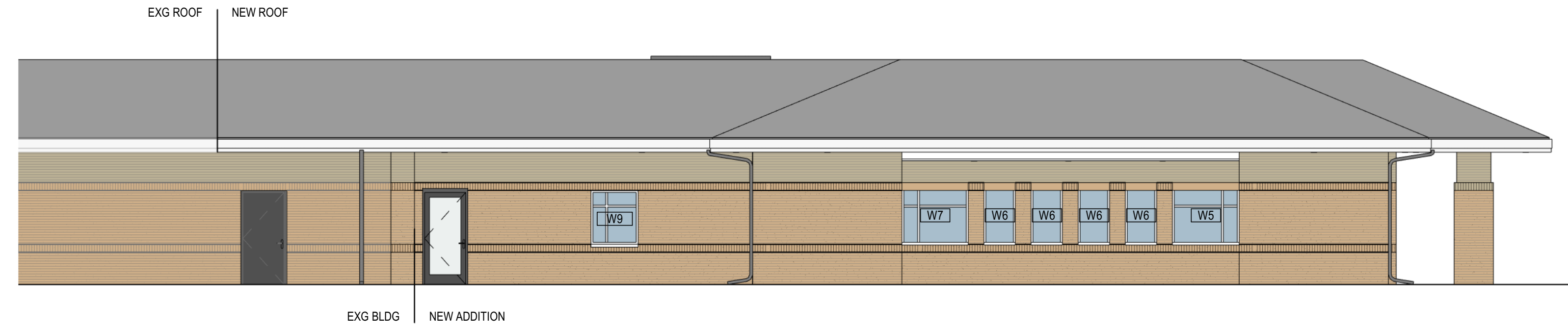
Perennials and Grasses					
MS	Miscanthus sinensis 'Purpureascens'	Purple Flame Grass	24	1/2 gallon	
CV	Carex Vulpinoidea	Fox Sedge	900	Plugs	
CB	Carex Brevier	Plain Oval Sedge	47,390	S.F.	

TOTAL POINTS: 12,770

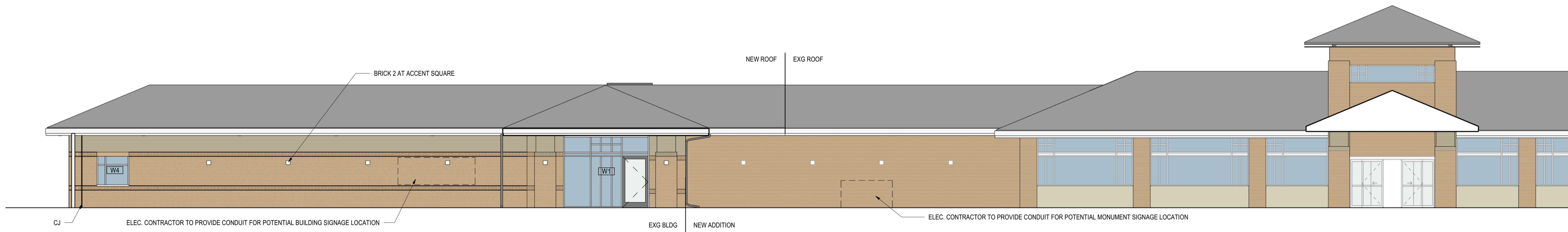


GENERAL ELEVATION NOTES:

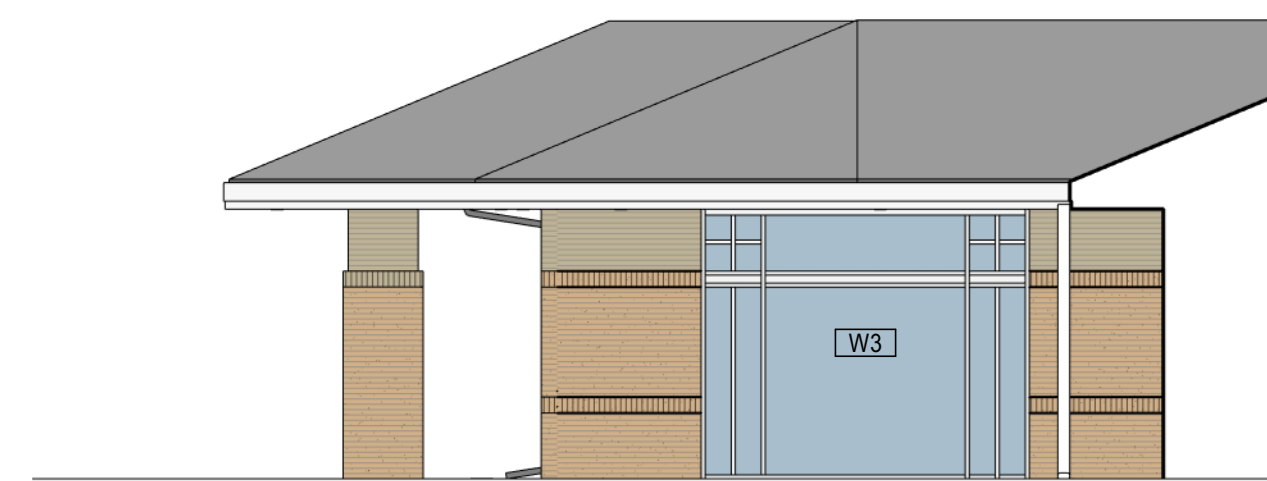
1. SEE ARCHITECTURAL FLOOR PLANS FOR WALL TYPES, WINDOW NUMBERS, DOOR NUMBERS, AND DIMENSIONS.
2. PLACEMENT OF WALL MOUNTED ITEMS (FIRE STROBE, DOOR OPERATOR BUTTON, WALL HYDRANTS, ETC) ARE DIMENSIONED TO CENTERLINE OF ITEM.
3. HATCHED AREA IS FOR REFERENCE ONLY.
4. ANY RETURNS OR BLIND ELEVATIONS NOT SHOWN SHALL BE SIMILAR IN MATERIAL AND MAKEUP TO ADJACENT CONDITIONS OR OTHER SIMILAR CONDITIONS.



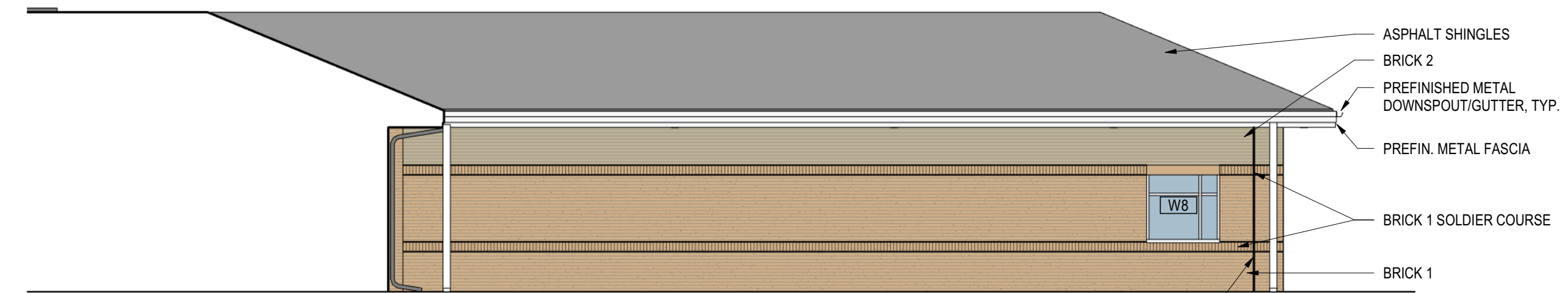
4 WEST ELEVATION  
1/8" = 1'-0"



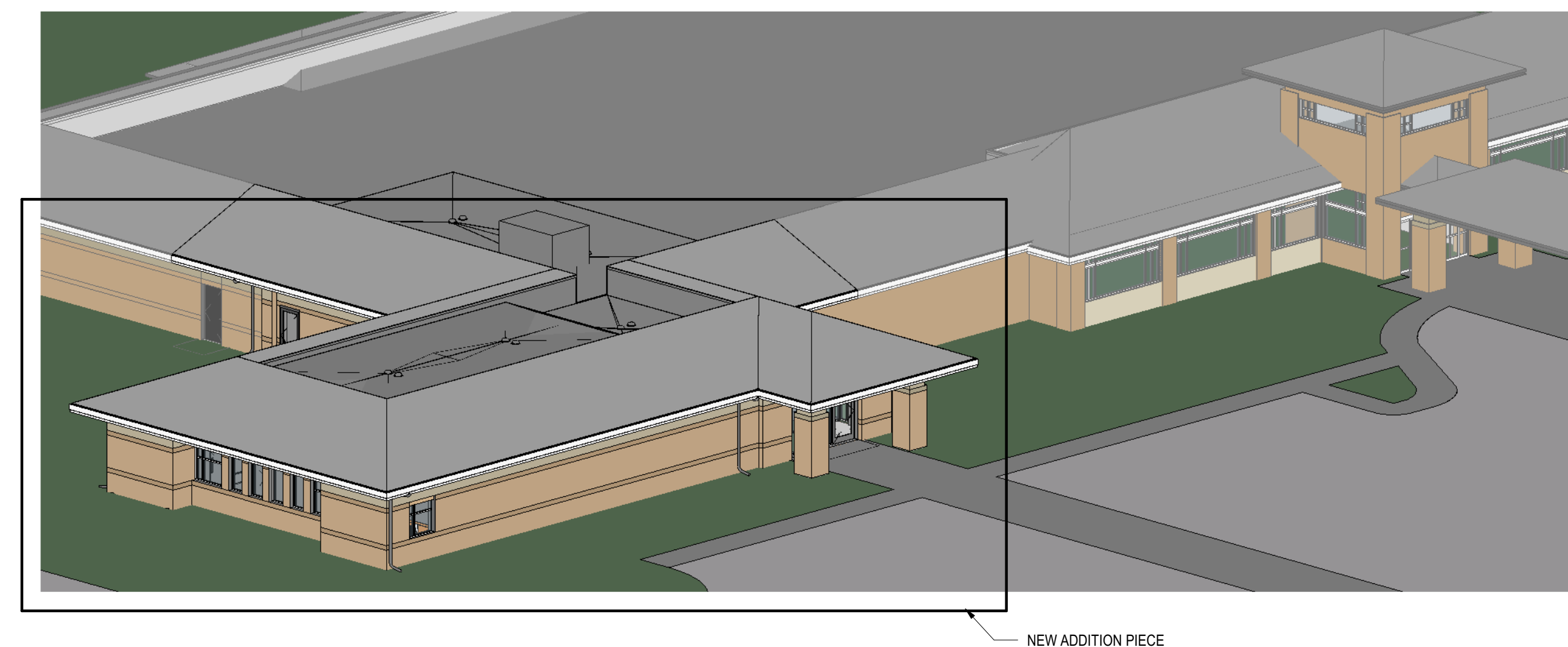
3 SOUTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



1 NORTH ELEVATION  
1/8" = 1'-0"



THIS SHEET CONTAINS COLOR CONTENT - THIS SHEET MUST BE PRINTED IN COLOR TO VIEW CONTENT PROPERLY

INVISION

PLANNING | ARCHITECTURE | INTERIORS  
501 Sycamore Street  
Suite 101  
Waterloo, IA 50703  
319.233.8419  
319.233.9772 Fax  
www.invisionarch.com

CONSULTANT:  
STRUCTURAL  
BISHOP CONSULTING  
ENGINEERS, P.C.  
MECHANICAL AND PLUMBING  
YOUNG PLUMBING  
HEATING & COOLING  
ELECTRICAL  
COMMUNITY  
ELECTRIC  
SITE  
CGA CONSULTANTS

REVISIONS:

Description	Date	No.

OWNER SIGN-OFF:

DATE	NAME

MERCYONE  
BLUEBELL HEALTH PLAZA OBGYN  
ADDITION  
226 BLUEBELL RD  
CEDAR FALLS, IA 50613

PROJECT NO:  
21053  
DATE:  
JULY 30, 2021  
SHEET SET:  
CONSTRUCTION  
DOCUMENTS  
SHEET NAME:  
EXTERIOR ELEVATIONS

SHEET:  
A2.01



10' TRAIL WITH EASEMENT TO BE  
INSTALLED ALONG SOUTH PROPERTY LINE  
WITH FUTURE DEVELOPMENT

5' PUBLIC SIDEWALK TO BE  
INSTALLED ALONG BLUEBELL ROAD  
WITH FUTURE DEVELOPMENT

STORM WATER  
DETENTION

PROPOSED  
5' PUBLIC SIDEWALK

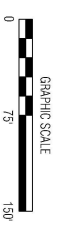
POTENTIAL FUTURE PROPERTY SPLIT

PROPOSED PARKING  
ADDITION

EXISTING PARKING

PROPOSED  
ADDITION

EXISTING  
BUILDING



NO.	REVISION	BY	DATE

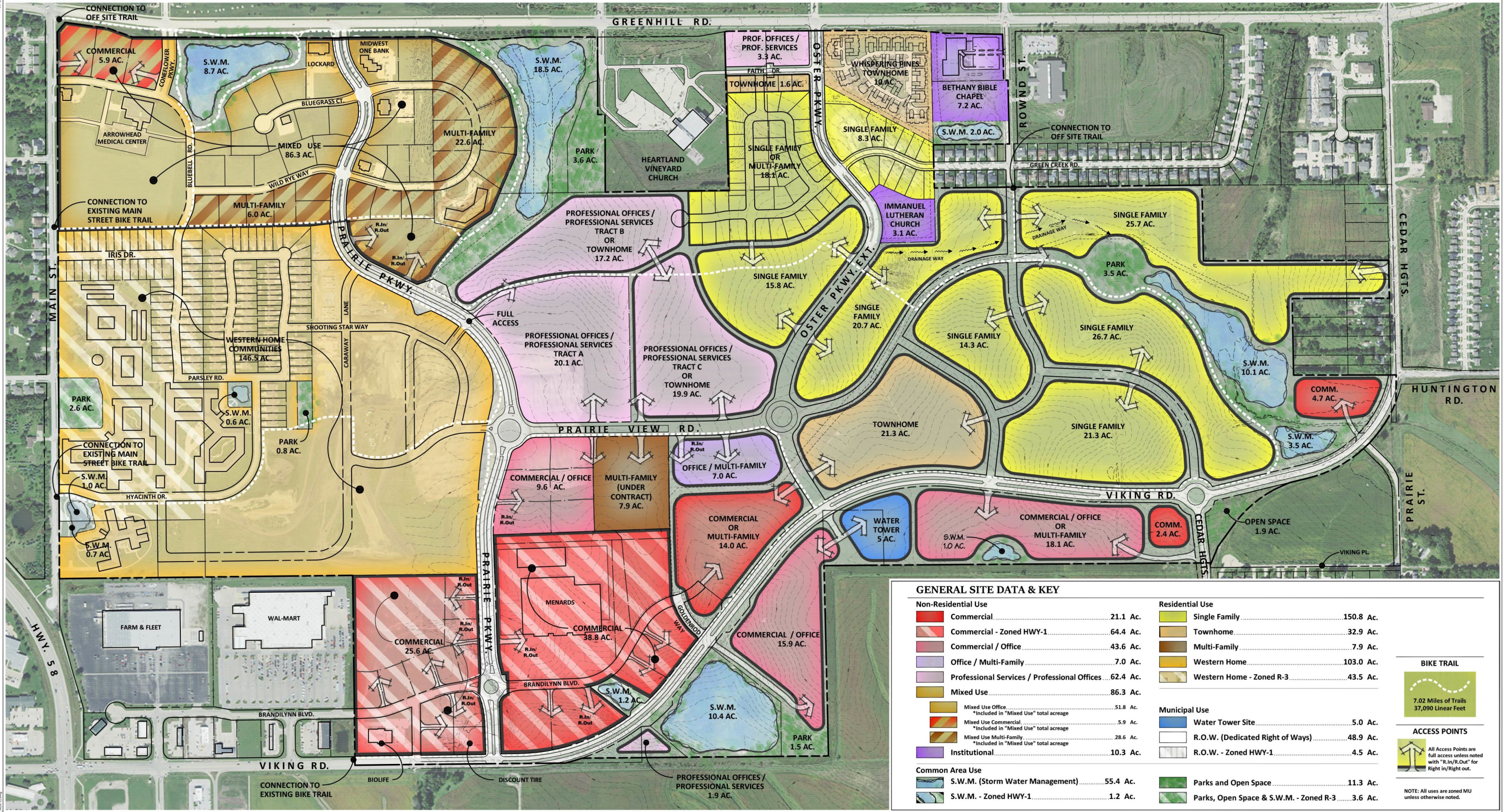


DESIGNED: JMG	DATE: 08/17/2021
DRAWN: JMG	DATE: 08/17/2021
CHECKED: JMB	DATE: 08/17/2021
APPROVED: JMG	DATE: 08/17/2021

**BLUEBELL HEALTH PLAZA OBGYN ADDITION**  
CEDAR FALLS, IOWA

**2021 MASTER PLAN EXHIBIT**

PROJECT NO. 5836
SHEET NO. ###



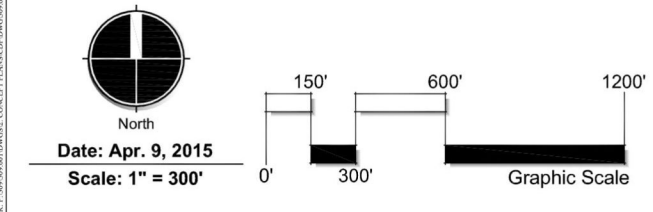
**GENERAL SITE DATA & KEY**

<b>Non-Residential Use</b>			
Commercial	21.1 Ac.	<b>Residential Use</b>	
Commercial - Zoned HWY-1	64.4 Ac.	Single Family	150.8 Ac.
Commercial / Office	43.6 Ac.	Townhome	32.9 Ac.
Office / Multi-Family	7.0 Ac.	Multi-Family	7.9 Ac.
Professional Services / Professional Offices	62.4 Ac.	Western Home	103.0 Ac.
Mixed Use	86.3 Ac.	Western Home - Zoned R-3	43.5 Ac.
Mixed Use Office	51.8 Ac.		
Mixed Use Commercial	5.9 Ac.	<b>Municipal Use</b>	
Mixed Use Multi-Family	28.6 Ac.	Water Tower Site	5.0 Ac.
Institutional	10.3 Ac.	R.O.W. (Dedicated Right of Ways)	48.9 Ac.
		R.O.W. - Zoned HWY-1	4.5 Ac.
<b>Common Area Use</b>			
S.W.M. (Storm Water Management)	55.4 Ac.	Parks and Open Space	11.3 Ac.
S.W.M. - Zoned HWY-1	1.2 Ac.	Parks, Open Space & S.W.M. - Zoned R-3	3.6 Ac.

**BIKE TRAIL**  
7.02 Miles of Trails  
37,090 Linear Feet

**ACCESS POINTS**  
All Access Points are full access unless noted with "R.In/R.Out" for Right in/Right out.

NOTE: All uses are zoned MU unless otherwise noted.



# MASTER PLAN

**LOCKARD**  
4501 Prairie Parkway, Cedar Falls, IA 50613  
(319) 277-8000

**Oster Partners**

**sda**  
**Schoppe Design Associates, Inc.**  
LAND PLANNING & LANDSCAPE ARCHITECTURE

126 S. Main Street  
Oswego, IL 60543  
p: 630 551-33  
f: 630 551-36  
schoppedesign.r



**Marshall Erdman  
& Associates**

500 Broadway Ave. 4th Fl. New York, NY 10012  
 Phone: (212) 692-8800  
 Fax: (212) 692-8801

Scale	1" = 100'
Sheet Number	3/17/75 (1 of 2) submitted
Project Name	
Client	
Address	
City	
State	
Country	

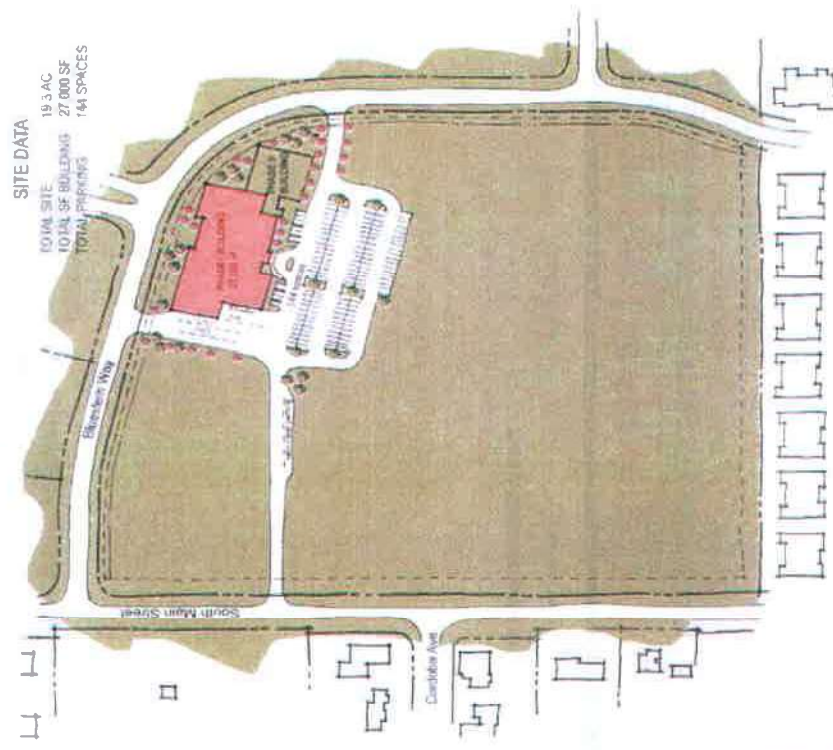
**PRELIMINARY  
SITE PLAN**

Lot: P-1008  
 Plot Area

Item 4.

**C.1**

CEDAR FALLS, IA  
 52602



# MASTER PLAN



# PHASE I



## DEPARTMENT OF COMMUNITY DEVELOPMENT

City of Cedar Falls  
 220 Clay Street  
 Cedar Falls, Iowa 50613  
 Phone: 319-273-8600  
 Fax: 319-273-8610  
 www.cedarfalls.com

## MEMORANDUM

### Planning & Community Services Division

**TO:** Planning and Zoning Commission  
**FROM:** Chris Sevy, Planner I  
**DATE:** August 16, 2021  
**SUBJECT:** Rezoning Request – Creekside Condos

**REQUEST:** Amend Future Land Use Map from Office & Business Park to Medium Density Residential (Case #LU21-001) and to rezone property from C-1 Commercial District to R-P Planned Residence District. (Case #RZ21-005)

**PETITIONER:** Dan Levi; Levi Architecture

**LOCATION:** Hanna Park Commercial Addition Lots 1, 2 & 3 and P A Hanna Addition Lot 4; Northwest corner of Cedar Heights Drive and Valley High Drive

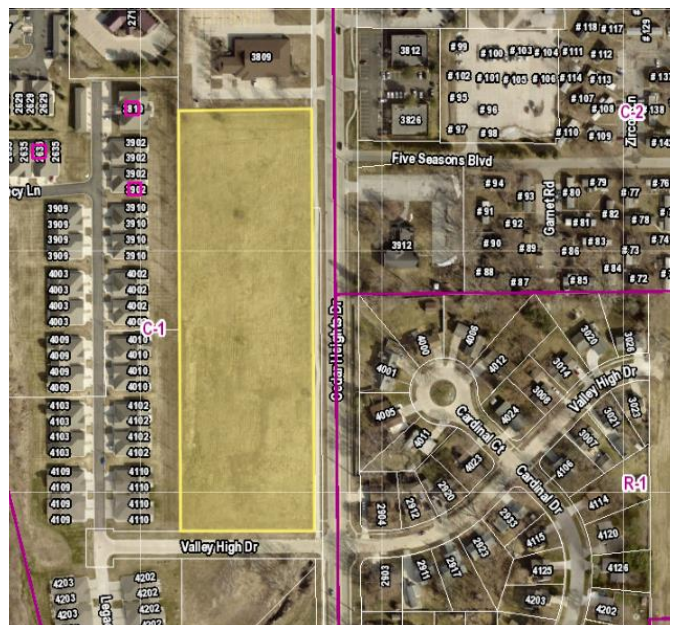
### PROPOSAL

The applicant is seeking to build a medium density residential condominium development along Cedar Heights Drive north of Valley High Drive. Residential is only allowed conditionally in the C-1 district which also has a two-story 35-foot height limitation. That limitation precludes the proposed three-story 42-foot buildings from being built. Therefore, the applicant is requesting to rezone this property to an R-P Planned Residence District where a planned condominium development can be built.

Since one of the primary considerations of a rezoning is whether the rezoning request is consistent with the Comprehensive Plan, staff notes that an amendment to the Comprehensive Plan will be required in order to consider approval of the rezoning.

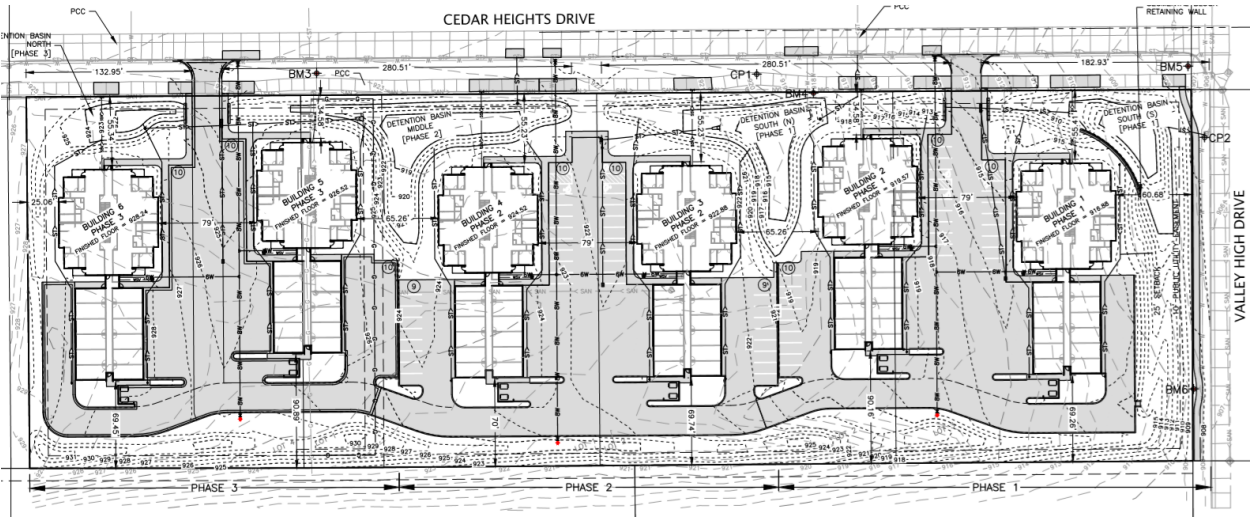
### BACKGROUND

The four parcels in question and the surrounding area on three sides were zoned



C-1 Commercial in 2005. The northernmost parcel was platted in 1990 and the other three were platted in 2007 with the intent to allow commercial development. Staff notes that demand and interest for commercial development in this location has been limited as residential development has filled in around these parcels and they have remained vacant. There is considerable commercial development along University Avenue, which carries more traffic than Cedar Heights Drive, and is therefore more attractive to commercial development.

The applicant has provided a development plan for the site where six 12-plex buildings would go. This proposal is also going through a subdivision process to combine lots and reconfigure the utility easements that were previously platted. If rezoned from C-1 Commercial to an R-P Planned Residence District, it will be the lone R-P district in that immediate neighborhood. However, residential uses would border three sides of the development area.



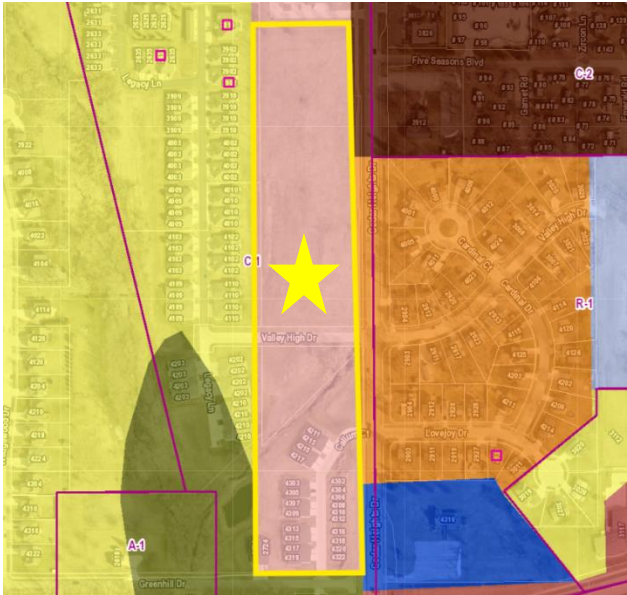
**MINIMUM CRITERIA AND LAND USE MAP AMENDMENT**

The following criteria are the minimum consideration for a rezone:

- 1) *Is the rezoning request consistent with the Future Land Use Map and the Comprehensive Plan?*

Not at this time. A land use map amendment is required and must be considered prior to consideration of the rezoning request. The Future Land Use Map shades this property in pink which is for Office and Business Park uses. The area outlined in yellow below (marked by a star) will need to be amended to "Medium Density Residential" to allow the proposed project. The area on the east side of Cedar Heights Drive is also designated as Medium Density Residential, shown shaded in orange, so a change on the west side of the street would create consistency in the type of development in the area.

Office and Business Park uses here on the



Future Land Use Map may not be a practical expectation at this point. In recent history there has not been interest or demand for further office spaces or commercial development along Cedar Heights Drive as there are more prominent commercial corridors nearby along University Avenue and Viking Road. Office and business park development has also agglomerated in the industrial land further to the west. Principles of land-use planning would concentrate commercial uses in nodes that are appropriately sized. Staff finds that the amount of commercial and office indicated on the Future Land Use Map along this corridor may be excessive given the lower traffic volume and more attractive location for such development in other locations. On the other hand, additional residential development will provide needed housing in the community and help create more demand for nearby retail and commercial services. Staff recommends amending the Future Land Use Map changing the area outlined in yellow above to Medium Density Residential. Staff also suggests including the parcels south of Valley High Drive, which have largely been developed as residential. If the Land Use Map is amended as recommended, the rezoning request would then meet the test for a rezoning.

2) *Is the property readily accessible to sanitary sewer service?*

Yes, all utilities are readily available to the site.

3) *Does the property have adequate roadway access?*

Yes, the property borders Cedar Heights Drive and Valley High Drive.

#### ANALYSIS OF THE PROPOSED RP PLAN

The intent of the C-1 Commercial District is to border residential neighborhoods and provide for the “daily local business needs” of those neighborhoods. In the immediate area, most of the C-1 District has been developed as residential while the commercial amenities in the neighborhood include a dental office, a credit union, and a school district office for programs that help students transition to college and the work force. Residential uses are only allowed in C-1 with approval by the City Council. The applicant is requesting to rezone the property to R-P in order to cluster the residential development in 3-story buildings, which would not be allowed in the C-1 Zone.

This 6.38 acre property is bordered by a variety of uses: 4-plex condominium buildings to the west and south, a single family neighborhood and a church on the east, and the School District Educational Support Center on the north.

Staff finds that, for the surrounding residents, this rezone provides a more reliable expectation regarding what will be developed, how the buildings will be placed on the lot and how they will be designed to create a quality neighborhood. If demand changes and if left as C-1, many commercial uses such as retail, restaurants, and gas stations would be allowed with few restrictions or standards and would not be subject to review by the Planning and Zoning Commission and City Council.

The purpose of the R-P Planned Residence District is to provide for the orderly planned growth of residential developments in larger tracts of land. These larger tracts are more typically defined as being 10 acres or more, though this is not a hard number. For the sake of limiting the use and having assurance of how the parcels in question will be developed, City Staff finds that the R-P District is appropriate. An RP rezoning request must be accompanied by a master development plan and a developmental procedures agreement must be approved by City Council to ensure that the area is developed according to the plan.



The following is an analysis of the proposed development plan and an outline of specific requirements to inform conditions of the rezoning:

1. Below is a table of the spatial requirements that would apply to this project along with the proposed figures (including C-1 requirements for comparison):

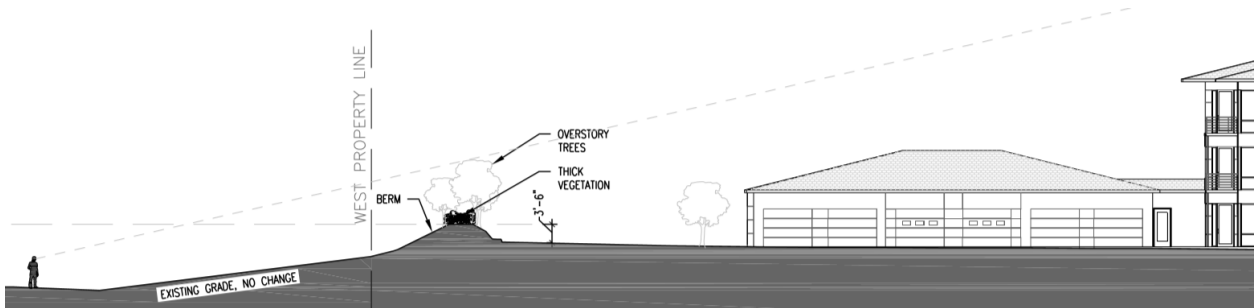
	<u>Required in C-1</u>	<u>Required in R-P</u>	<u>Proposed</u>
<b>Front Yard Setback:</b>	25 Feet	20 feet	34 feet (closest building); 55 feet (furthest building)
<b>Rear Yard Setback:</b>	10 feet	35 feet	69 feet (closest building); 90 feet (furthest building)
<b>Side Yard Setback:</b>	None	10 feet (25 feet total of both sides)	25 feet on north and 60 feet on south
<b>Lot area minimum:</b>	None	14,800 square feet per 12-plex	46,391 square feet per 12-plex
<b>Height:</b>	2 stories; 35 feet	N/A	3 stories; 42 feet

While the above figures are minimum requirements, the placement, design and height of the buildings will have to be substantially consistent with what is shown on the submitted master plan and outlined in the development procedures agreement. The setbacks, density and building height of the proposed development are listed in the column on the right. When a site plan application is submitted, it will need to be substantially consistent with these dimensional standards.

Concern about the height and number of units has been expressed by some of the neighboring residents to the west. The applicant seems to adequately address these concerns by having the buildings set back a minimum of 69 feet. The garages proposed at that setback are only 1 story and the 3-story 42-foot residential buildings are approximately 150 feet from the west property line. In contrast, the C-1 District would allow a 35-foot tall two-story building at a 10-foot setback with no mandatory review by the Commission or Council. Also, screening or fencing may not be required on property lines between two developments that are zoned C-1.

2. Since Cedar Heights Drive is an arterial street and previous plats limit the number of driveways, only two access points will be allowed to ensure a smooth traffic flow. The applicant’s proposal shows two access points, both on Cedar Heights Drive. A third access point may be allowed on Valley High Drive, however the applicant has opted not to provide that access point due to slope and elevation issues.
3. Required landscaping and screening will be largely determined by the parking code as there are no landscape standards outlined in the R-P District (nor the C-1 District). The proposed plan features a 3.5 to 6-foot berm along the west edge of the property with trees, shrubs, and other plants on top of it. Below is an exhibit that was created to demonstrate to the neighbors how this will soften the view from their rear yards and

effectively screen the taller buildings from view. Staff finds that this is a good solution to help screen and separate the lower intensity residential development to the west and the taller buildings proposed with this development. During site plan review, the applicant will need to provide more details on how this berm and landscaping will provide an effective screen that is at minimum 6 feet tall to meet zoning code requirements.



- Below is the provided landscape plan. The placement and number of trees and landscaping will be reviewed in detail when an application for site plan review is being considered. Note that the stormwater is being directed to the east to a series of landscaped basins. It should be noted that with development the stormwater from the proposed development will be managed in contrast to the uncontrolled run-off from what is currently a vacant lot.



A notice was mailed to property owners within 300 feet of the parcels under consideration on August 17, 2021 regarding this rezoning request.

**STAFF RECOMMENDATION**

Staff recommends that the Commission set a public hearing for September 8<sup>th</sup> to consider amending the Future Land Use Map (LU21-002) as outlined in this report.

Staff also recommends that the Commission set a public hearing for September 8<sup>th</sup> to consider approval of RZ21-005, a request to rezone the Northwest corner of Cedar Heights Drive and Valley High Drive from C-1, Commercial District to R-P, Planned Residence District.

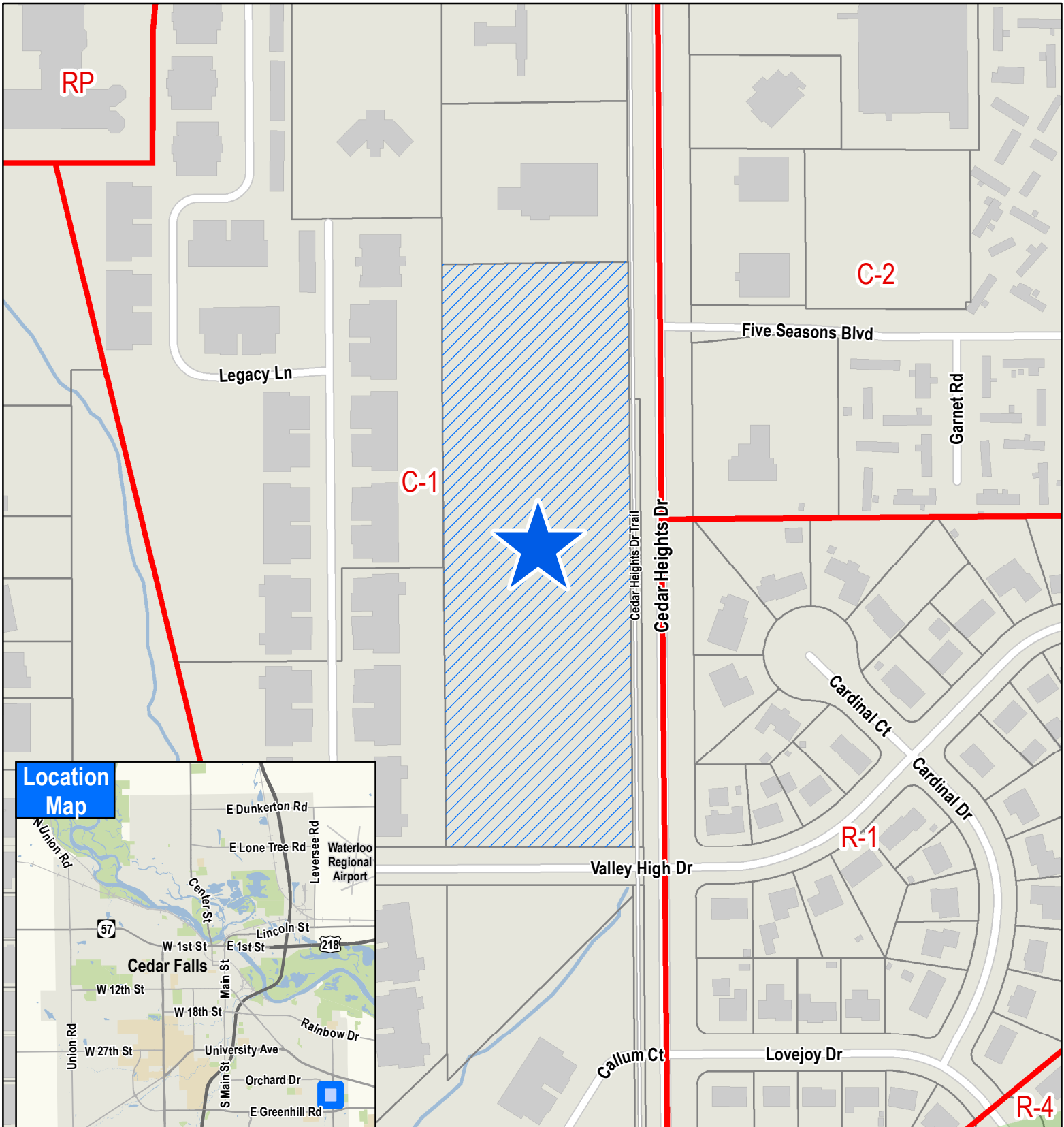
PLANNING & ZONING COMMISSION

Introduction  
8/25/2021

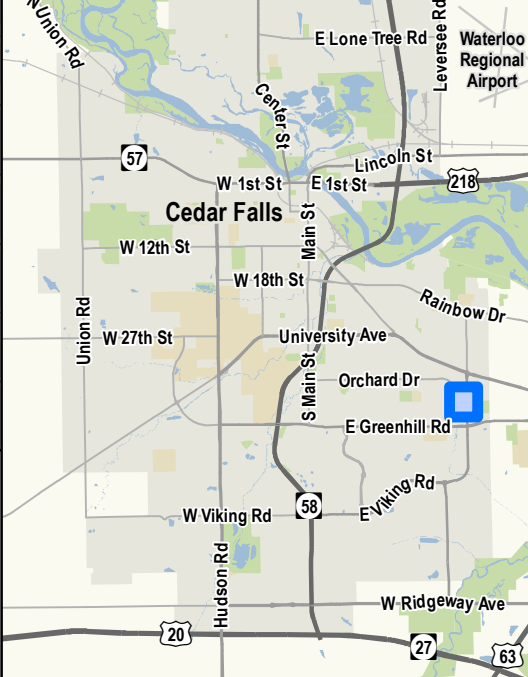
Attachment:    Location Map  
                  Rezone Exhibit  
                  R-P Plan  
                  Renderings Provided by Applicant  
                  Site Section with Building  
                  Letter to Adjacent Property Owners

# Cedar Falls Planning & Zoning Commission August 25, 2021

Item 5.

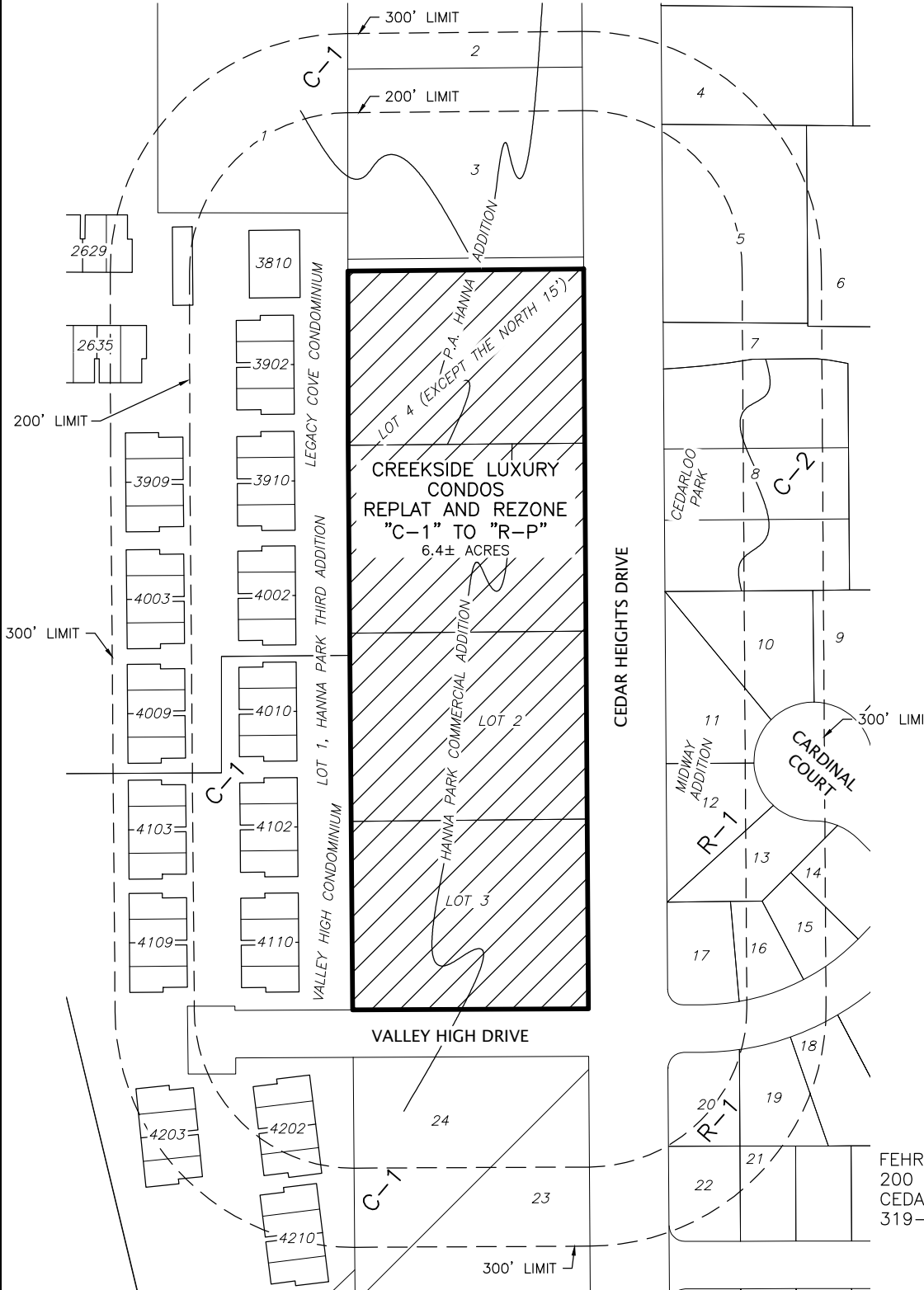


## Location Map



**Rezoning from C-1 to R-P  
Northwest Corner of Cedar Heights  
Drive and Valley High Drive**

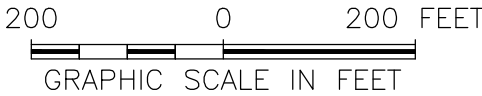
PROPERTIES WITHIN 300 FEET  
OF  
LOTS 1, 2, & 3, OF HANNA PARK COMMERCIAL ADDITION, & LOT 4 (EXCEPT THE  
NORTH 15 FEET THEREOF), OF P.A. HANNA ADDITION TO THE CITY OF CEDAR FALLS,  
ALL IN THE CITY OF CEDAR FALLS, BLACK HAWK COUNTY, IOWA



SEE ATTACHED SHEETS  
FOR PROPERTY OWNER  
NAMES AND ADDRESSES

FEHR GRAHAM  
200 5TH AVENUE SE, SUITE 100  
CEDAR RAPIDS, IA 52401  
319-294-6909

APRIL 6, 2020



**FEHR GRAHAM**  
ENGINEERING & ENVIRONMENTAL

ILLINOIS  
IOWA  
WISCONSIN

# SITE DEVELOPMENT PLAN CREEKSIDE LUXURY CONDOS

SITE ADDRESS - CEDAR HEIGHTS DRIVE  
LOTS 1-3, HANNA PARK COMMERCIAL ADDITION & LOT 4,  
HANNA'S P.A. ADDITION.

OWNER  
LG COMPANIES, LLC  
4104 WEDGEWOOD DRIVE  
CEDAR FALLS, IOWA 50613

ARCHITECT  
LEVI ARCHITECTURE  
1009 TECHNOLOGY PARKWAY  
CEDAR FALLS, IA 50613

ZONING: (CURRENT) C-1 NEIGHBORHOOD COMMERCIAL  
(PROPOSED) R-P PLANNED RESIDENTIAL

LOT INFORMATION  
LOT SIZE: 278,124 S.F. / 6.38 ACRES

SETBACK REQUIREMENTS (PER PLAT)  
FRONT: 25'  
REAR: 25'  
SIDE: 25'

BUILDING AND LOT USE  
PROPOSED  
BUILDING HEIGHT AT PEAK - 41'-8"  
BUILDING FOOTPRINT: 10,500 S.F. (EACH)  
BUILDING FOOTPRINT: 63,000 S.F. (TOTAL) (22.7%)  
TOTAL PAVEMENT & SIDEWALKS: 107,446 S.F. (38.6%)  
TOTAL VEGETATED SURFACE: 107,678 S.F. (38.7%)

EXISTING  
BUILDING FOOTPRINT: N/A  
TOTAL PAVEMENT & SIDEWALKS: N/A  
TOTAL VEGETATED SURFACE: 278,124 S.F. (100%)  
DENSITY - 48 UNITS/6.38 ACRES = 7.5 UNITS/ACRE  
PARKING DATA (PROPOSED)  
TOTAL REQUIRED PARKING:  
DWELLING, MULTI-UNIT: TWO PARKING SPACES PER  
DWELLING UNIT, PLUS ONE ADDITIONAL PARKING  
SPACE FOR EACH BEDROOM IN EACH DWELLING  
UNIT IN EXCESS OF TWO BEDROOMS. ONE  
ADDITIONAL STALL SHALL BE PROVIDED FOR  
EVERY FIVE UNITS IN EXCESS OF FIVE UNITS  
FOR VISITOR PARKING.  
72 TWO BEDROOM UNITS = 144 SPACES  
VISITOR PARKING = 15 SPACES  
TOTAL SPACES = 159 SPACES

TOTAL PROVIDED PARKING - 162 PARKING STALLS  
(12 HANDICAP)  
(150 STANDARD)

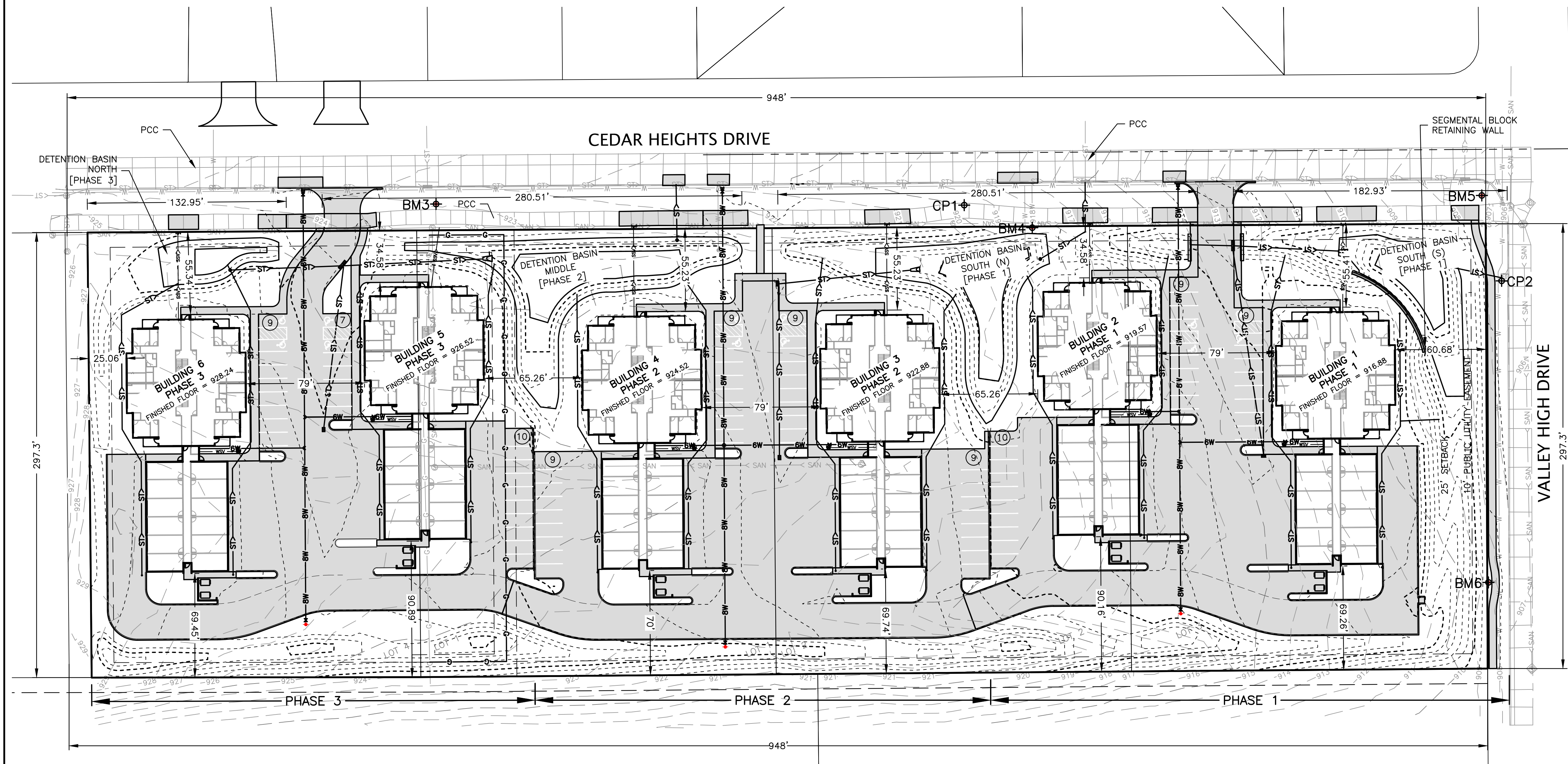
FLOOD PLAIN - N/A  
WETLAND - N/A  
PHASING  
PROJECT PLANNED TO BE CONSTRUCTED IN 3 PHASES, 2  
STRUCTURES PER PHASE. PHASE 1 TO HAVE A SINGLE  
DRIVEWAY FROM CEDAR HEIGHTS DRIVE. SECOND DRIVEWAY  
CONSTRUCTED IN PHASE 2 FROM CEDAR HEIGHTS DRIVE.

### DATUM INFORMATION

VERTICAL CONTROL: NAVD(88)  
HORIZONTAL CONTROL: NAD83 IOWA STATE PLANE NORTH ZONE,  
US SURVEY FEET

### CONTROL AND BENCHMARK INFORMATION

CP1 = CUT X IN SIDEWALK, WEST SIDE OF CEDAR HEIGHTS DR.,  
±360' NORTH OF VALLEY HIGH DR.  
N-3647766.17, E-5214792.42, ELEV-919.82  
CP2 = CUT X ON CONCRETE INTAKE TOP NORTH SIDE OF  
VALLEY HIGH DR., WEST OF CEDAR HEIGHTS DR  
N-3647407.03, E-5214741.82, ELEV-906.28  
BM 3 = X ON HYDRANT BOLT, WEST SIDE OF CEDAR HEIGHTS  
DR., ±716' NORTH OF VALLEY HIGH DR.  
N-3648119.17, E-5214793.16, ELEV-925.04  
BM 4 = X ON HYDRANT BOLT, WEST SIDE OF CEDAR HEIGHTS  
DR., ±316' NORTH OF VALLEY HIGH DR.,  
N-3647720.71, E-5214777.34, ELEV-920.83  
BM 5 = X ON HYDRANT BOLT, WEST SIDE OF CEDAR HEIGHTS  
DR., ±18' NORTH OF VALLEY HIGH DR.,  
N-3647420.27, E-5214798.87, ELEV-909.39  
BM 6 = X ON HYDRANT BOLT, NORTH SIDE OF VALLEY HIGH  
DRIVE, ±270' WEST OF CEDAR HEIGHTS DR.,  
N-3647420.27, E-5214798.87, ELEV-909.39



**FEHR GRAHAM**  
ENGINEERING & ENVIRONMENTAL

ILLINOIS  
IOWA  
WISCONSIN

OWNER/DEVELOPER:  
LG COMPANIES, LLC  
4104 WEDGEWOOD DRIVE  
CEDAR FALLS, IOWA 50613

PROJECT AND LOCATION:  
CREEKSIDE LUXURY CONDOS  
CEDAR FALLS, IOWA

DRAWN BY: AJB  
APPROVED BY: NPK  
DATE: 07/16/2021  
SCALE: AS NOTED

REVISIONS		
REV. NO.	DESCRIPTION	DATE

DRAWING:  
SITE DEVELOPMENT PLAN  
SET TYPE: PERMIT  
G:\C30\19\19-972 Cedar Heights Condos\19-972 design.dwg, C0.3

JOB NUMBER:  
19-972  
SHEET NUMBER:  
C0.3

# Creekside

LUXURY  
CONDOS



# Creekside

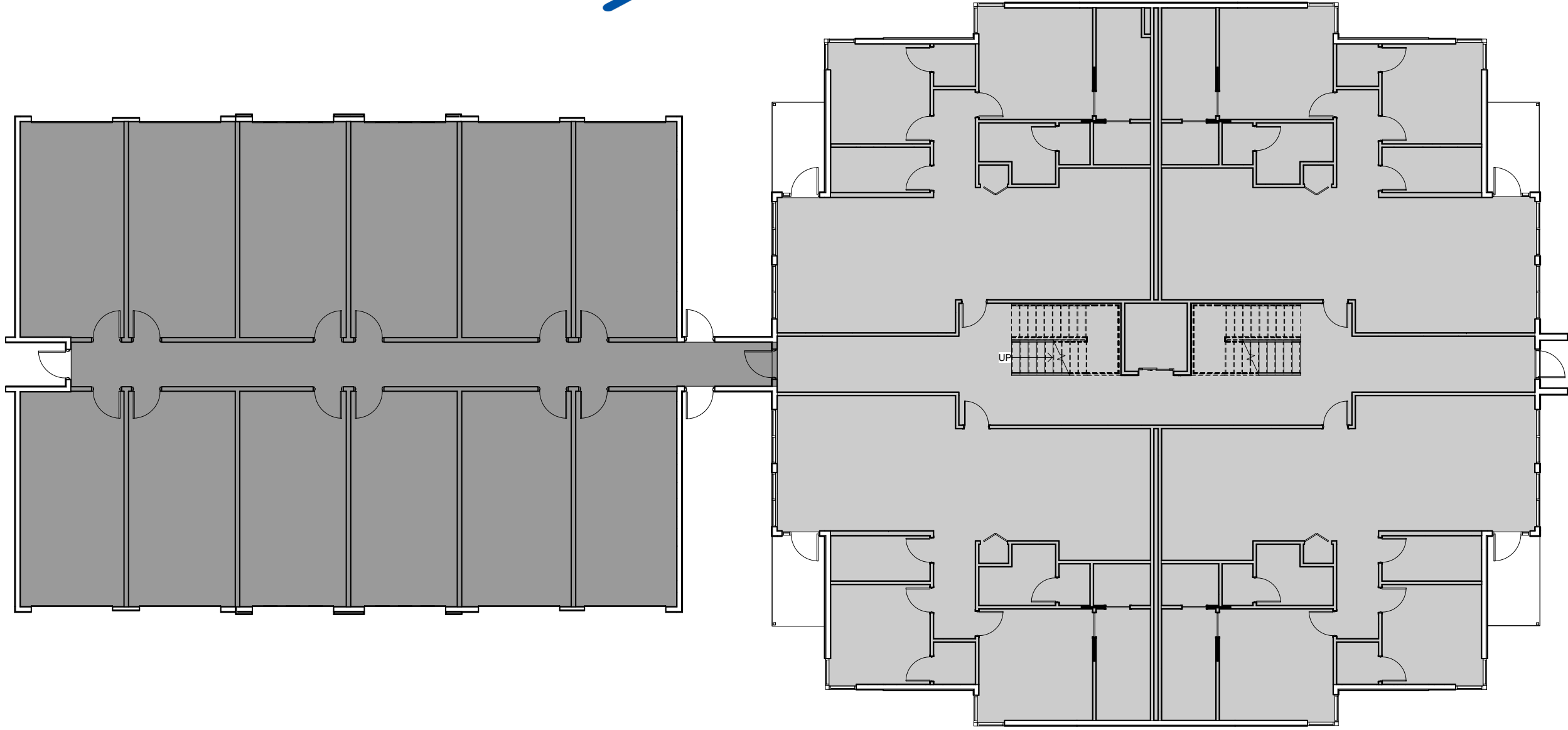
LUXURY  
CONDOS





# Creekside

## LUXURY CONDOS

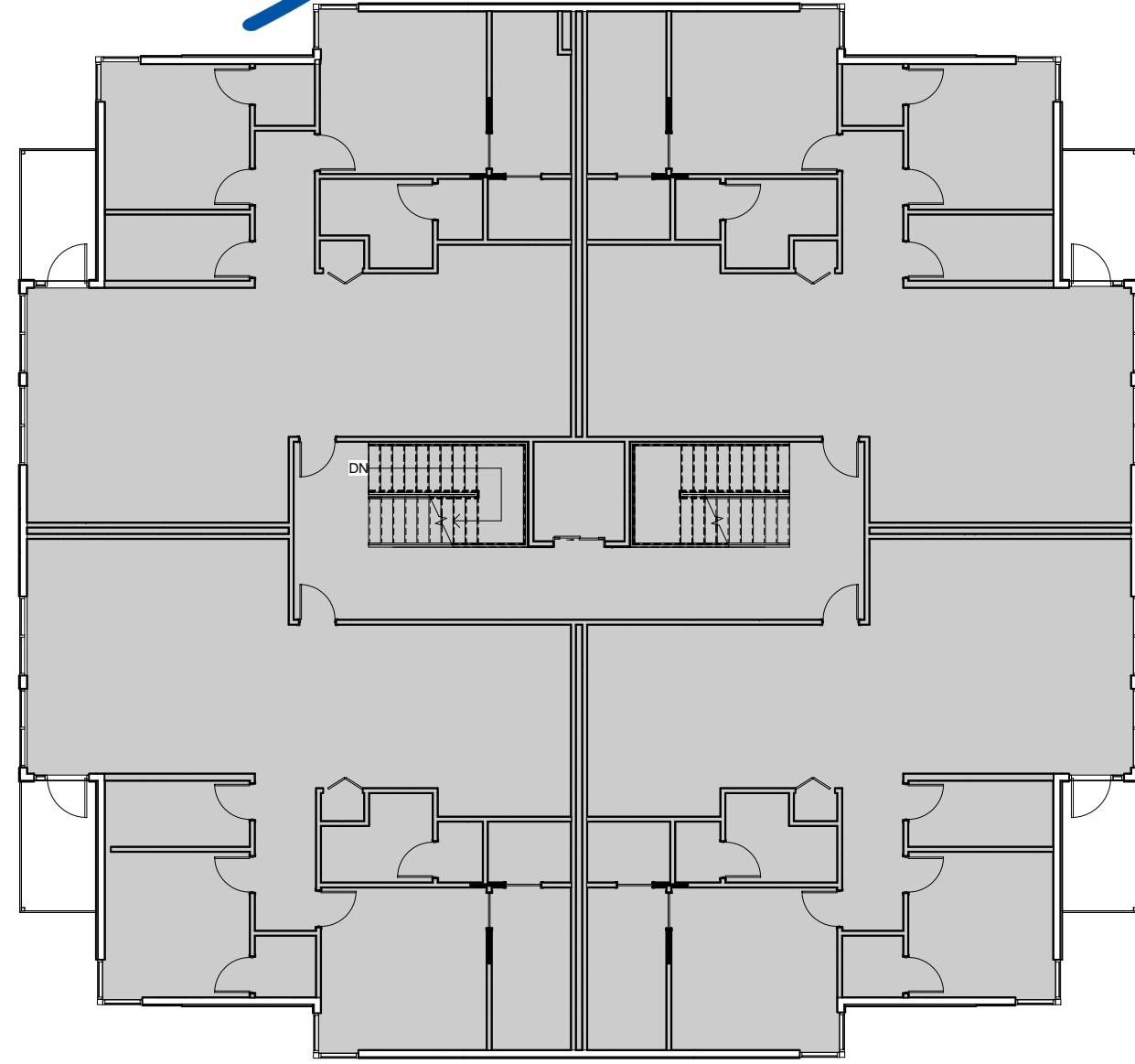


### FIRST FLOOR PLAN

- 5,882 Square Feet - Apartment
- 3,918 Square Feet - Garage

# Creekside

LUXURY  
CONDOS



SECOND FLOOR PLAN  
THIRD FLOOR PLAN SIM.

■ 5,882 Square feet

# Creekside

## LUXURY CONDOS



### EAST ELEVATION

- ① ASPHALT SHINGLES - CHARCOAL
- ② CEMENT PANELS - WHITE
- ③ CEMENT PANELS - ACCENT COLOR VARIES BY BUILDING
- ④ HARDIE SHINGLE SIDING - ACCENT COLOR VARIES BY BUILDING
- ⑤ HARDIE PLANK LAP SIDING - 8-8-4 PATTERN, COBBLE STONE
- ⑥ CORRUGATED METAL PANELS - SLATE GRAY
- ⑦ SOFFIT/FACIA - WHITE
- ⑧ ALUM. ENTRANCE FRAMING - WHITE
- ⑨ ALUM. WINDOW FRAMING - WHITE



# Creekside

## LUXURY CONDOS

T.O. PEAK  
+41'-8"

T.O. WALL  
+31'-6"

THIRD FLOOR F.F.E.  
+21'-0"

SECOND F.F.E.  
+10'-6"

MAIN F.F.E.  
+0'-0"



### SOUTH ELEVATION



- ① ASPHALT SHINGLES - CHARCOAL
- ② CEMENT PANELS - WHITE
- ③ CEMENT PANELS - ACCENT COLOR VARIES BY BUILDING
- ④ HARDIE SHINGLE SIDING - ACCENT COLOR VARIES BY BUILDING
- ⑤ HARDIE PLANK LAP SIDING - 8-8-4 PATTERN, COBBLE STONE
- ⑥ CORRUGATED METAL PANELS - SLATE GRAY
- ⑦ SOFFIT/FACIA - WHITE
- ⑧ ALUM. ENTRANCE FRAMING - WHITE
- ⑨ ALUM. WINDOW FRAMING - WHITE

# Creekside

## LUXURY CONDOS

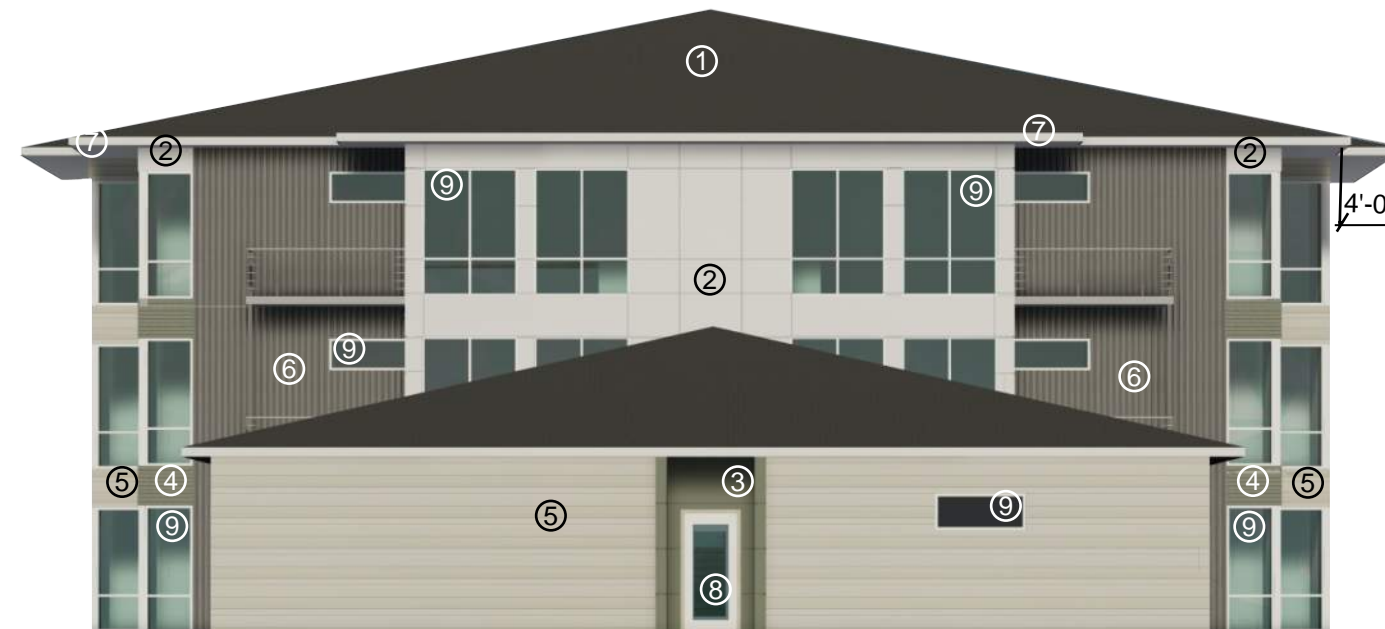
T.O. PEAK  
+41'-8"

T.O. WALL  
+31'-6"

THIRD FLOOR F.F.E.  
+21'-0"

SECOND F.F.E.  
+10'-6"

MAIN F.F.E.  
+0'-0"



### WEST ELEVATION

① ASPHALT SHINGLES - CHARCOAL

② CEMENT PANELS - WHITE

③ CEMENT PANELS - ACCENT COLOR VARIES BY BUILDING

④ HARDIE SHINGLE SIDING - ACCENT COLOR VARIES BY BUILDING

⑤ HARDIE PLANK LAP SIDING - 8-8-4 PATTERN, COBBLE STONE

⑥ CORRUGATED METAL PANELS - SLATE GRAY

⑦ SOFFIT/FACIA - WHITE

⑧ ALUM. ENTRANCE FRAMING - WHITE

⑨ ALUM. WINDOW FRAMING - WHITE



# Creekside

## LUXURY CONDOS

- ◆ T.O. PEAK  
+41'-8"
- ◆ T.O. WALL  
+31'-6"
- ◆ THIRD FLOOR F.F.E.  
+21'-0"
- ◆ SECOND F.F.E.  
+10'-6"
- ◆ MAIN F.F.E.  
+0'-0"

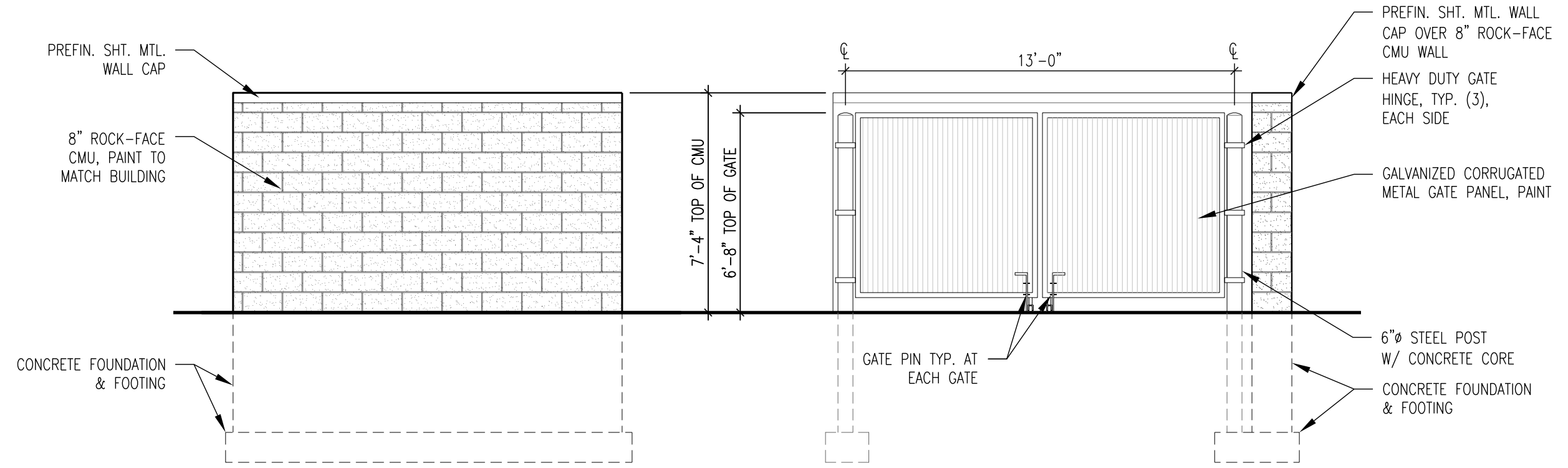


- ① ASPHALT SHINGLES - CHARCOAL
- ② CEMENT PANELS - WHITE
- ③ CEMENT PANELS - ACCENT COLOR VARIES BY BUILDING
- ④ HARDIE SHINGLE SIDING - ACCENT COLOR VARIES BY BUILDING
- ⑤ HARDIE PLANK LAP SIDING - 8-8-4 PATTERN, COBBLE STONE
- ⑥ CORRUGATED METAL PANELS - SLATE GRAY
- ⑦ SOFFIT/FACIA - WHITE
- ⑧ ALUM. ENTRANCE FRAMING - WHITE
- ⑨ ALUM. WINDOW FRAMING - WHITE



# Creekside

## LUXURY CONDOS

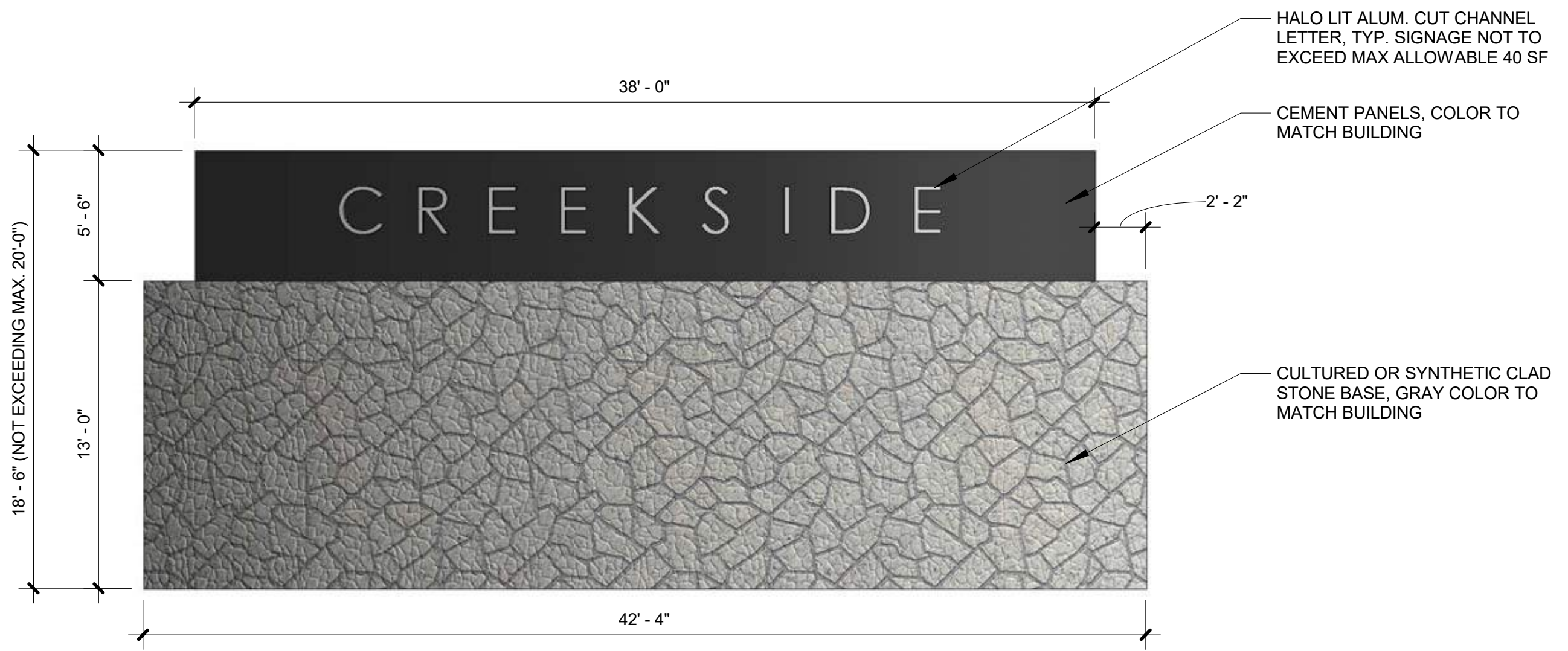


### TRASH ENCLOSURE



# Creekside

## LUXURY CONDOS

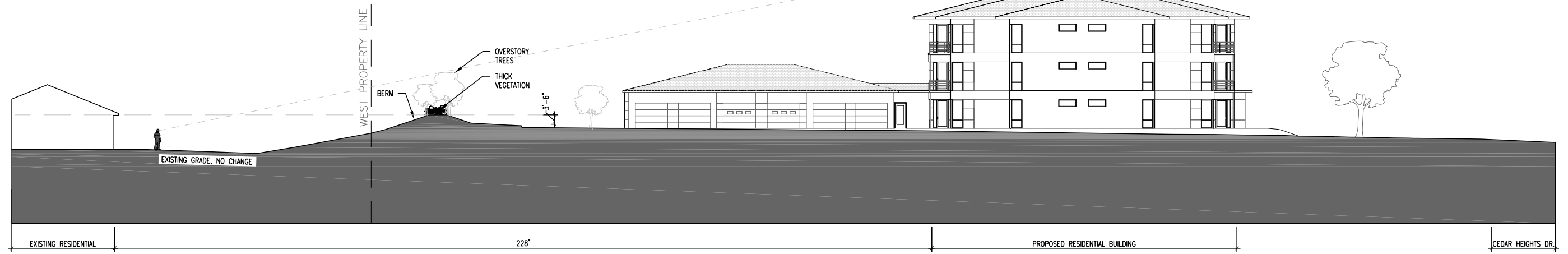




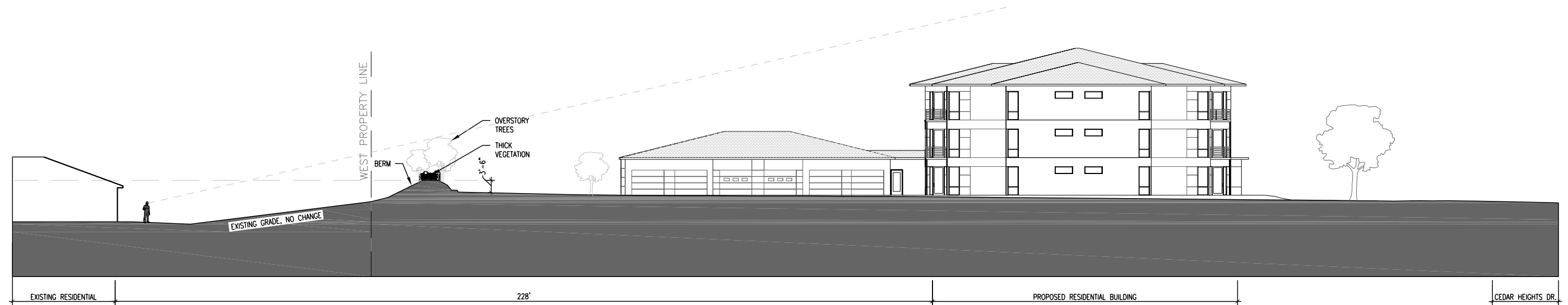
# Creekside

LUXURY  
CONDOS

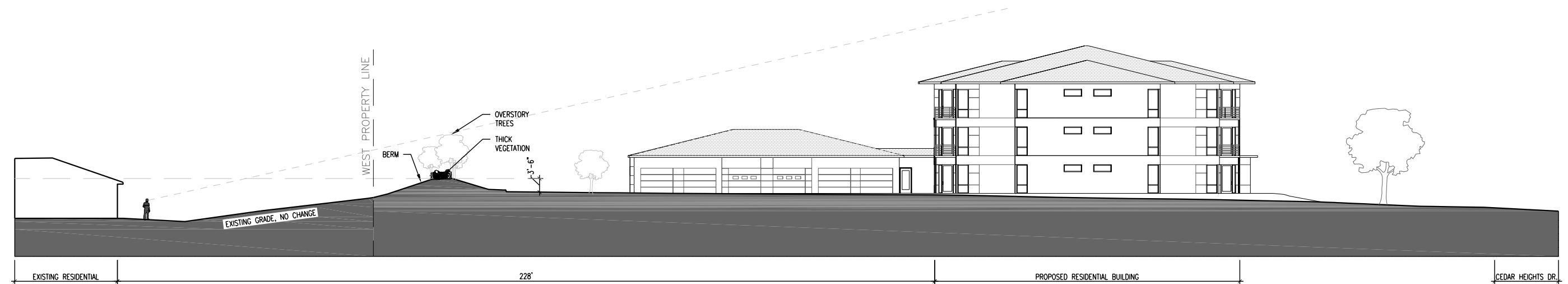




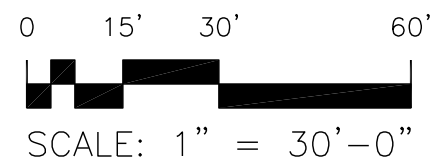
SITE SECTION THROUGH NORTH DRIVE, LOOKING NORTH



SITE SECTION THROUGH CENTER DRIVE, LOOKING NORTH



SITE SECTION THROUGH SOUTH DRIVE, LOOKING NORTH



# CREEKSIDE LUXURY CONDOMINIUMS



## DEPARTMENT OF COMMUNITY DEVELOPMENT

**PLANNING & COMMUNITY SERVICES**  
 220 CLAY STREET  
 PH: 319-273-8606  
 FAX: 319-273-8610

**INSPECTION SERVICES**  
 220 CLAY STREET  
 PH: 319-268-5161  
 FAX: 319-268-5197

**RECREATION & COMMUNITY PROGRAMS**  
 110 E. 13<sup>TH</sup> STREET  
 PH: 319-273-8636  
 FAX: 319-273-8656

**VISITORS & TOURISM/  
 CULTURAL PROGRAMS**  
 6510 HUDSON ROAD  
 PH: 319-268-4266  
 FAX: 319-277-9707

August 17, 2021

RE: Rezoning Request  
 6.38 acres of property located at Northwest corner of Cedar Heights Drive and Valley High Drive

Dear Area Resident/Property Owner:

I wish to notify you that the City of Cedar Falls Planning and Zoning office has received a request to rezone approximately 6.38 acres of property located at Northwest corner of Cedar Heights Drive and Valley High Drive from C-1 Commercial to R-P Planned Residence District.

This rezoning request will be introduced for initial discussion at the Cedar Falls Planning and Zoning Commission meeting **on Wednesday, August 25, 2021. At that time, the Commission will discuss the request and consider any public comments. Also, a public hearing for this rezoning will potentially take place on September 8, 2021.** Directions on how to participate in the meeting and provide your comments will be included in the meeting agenda, which will be available on the city website. Written comments may be filed with the Commission at any time prior to the time of the meeting by forwarding your comments to [Chris.Sevy@cedarfalls.com](mailto:Chris.Sevy@cedarfalls.com). A copy of the agenda, staff report, and attachments will be online by the end of the day on August 20 at [www.cedarfalls.com/ccvideo](http://www.cedarfalls.com/ccvideo).

If you have any comments or questions regarding this matter, please feel free to contact this office at (319) 273-8600. Thank you for your consideration.

Sincerely,

Chris Sevy  
 Planner I

Attachment: Rezoning Map